

HISTORIC ROGERSVILLE



DESIGN GUIDELINES

Revised 12/2011

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DESIGN GUIDELINES AND ECONOMIC BENEFITS

ECONOMICS

Design review guidelines are developed for communities and historic downtown area primarily for educational and economic reasons. By adhering to design review standards a downtown area can maintain its uniqueness and promote individual property values. Guidelines assist property owners in understanding how best to maintain and preserve historic structures and guide new construction. Design guidelines are written to result in a positive change in the visual appearance of an area.

OWNER INVESTMENT PROTECTION

Design review guidelines ensure that a property owner's investment in a historic area will be protected from inappropriate rehabilitation and new construction which could result in lower property values. Downtown Rogersville is unique through its history and architectural character and future marketing should accentuate these attributes in its economic development.

LOCAL CONTROL

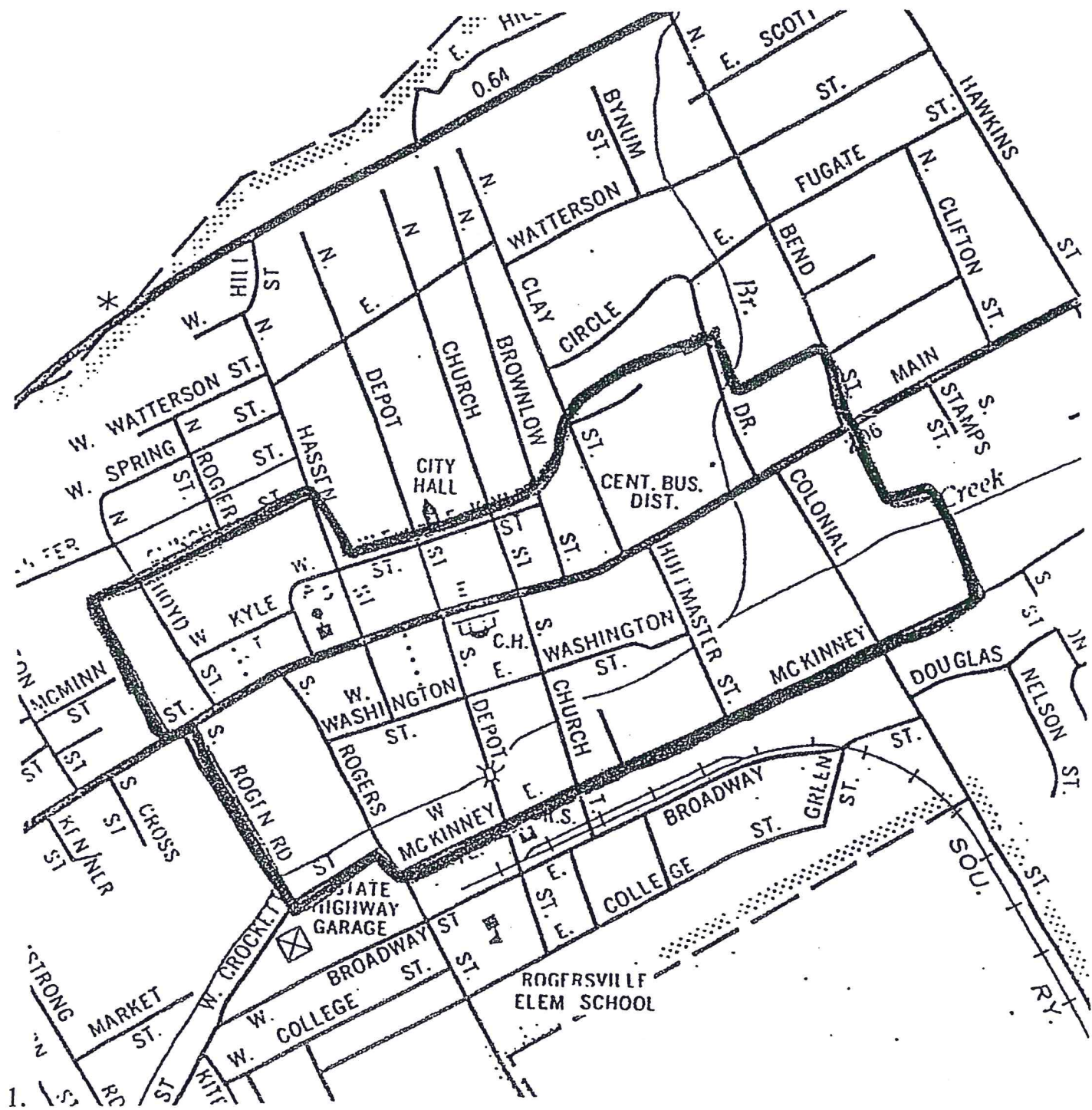
Design review guidelines are adopted and administered by local citizens and property owners. This grass roots approach allows residents to play a strong role in directing the future appearance of their community instead of leaving the future to outside forces.

COMMUNITY PROMOTION

Rogersville is one of thousands of communities which have recognized that preserving its historic resources makes good sense. A vital and attractive downtown area promotes a city's overall quality of life and illustrates its commitment to its heritage and identity. Design review maintains and enhances this character.

POTENTIAL FOR INVESTMENT TAX CREDITS

Rogersville's historic commercial core was listed on the National Register of Historic Places in 1973. This designation allows eligible property owners to take advantage of the Investment Tax Credit which provides for a 20% tax credit for certified rehabilitation projects. This credit applies to all rehabilitation cost on a building including infrastructure, exterior improvements, contracting fees, etc. See page 6 for the map indicating boundaries for Rogersville National Register Historic District.



ROGERSVILLE NATIONAL REGISTER OF HISTORIC PLACES DISTRICT

I. ROGERSVILLE, TENNESSEE GROWTH AND DEVELOPMENT

EXISTING CHARACTER OF ROGERSVILLE

The Central Business Area runs from Circle Drive to Rogan Road and is two to three blocks in depth. The historic residential area surrounds the Central Business area and is irregular in shape. Check the map on page 9 for boundaries of the local historic area.

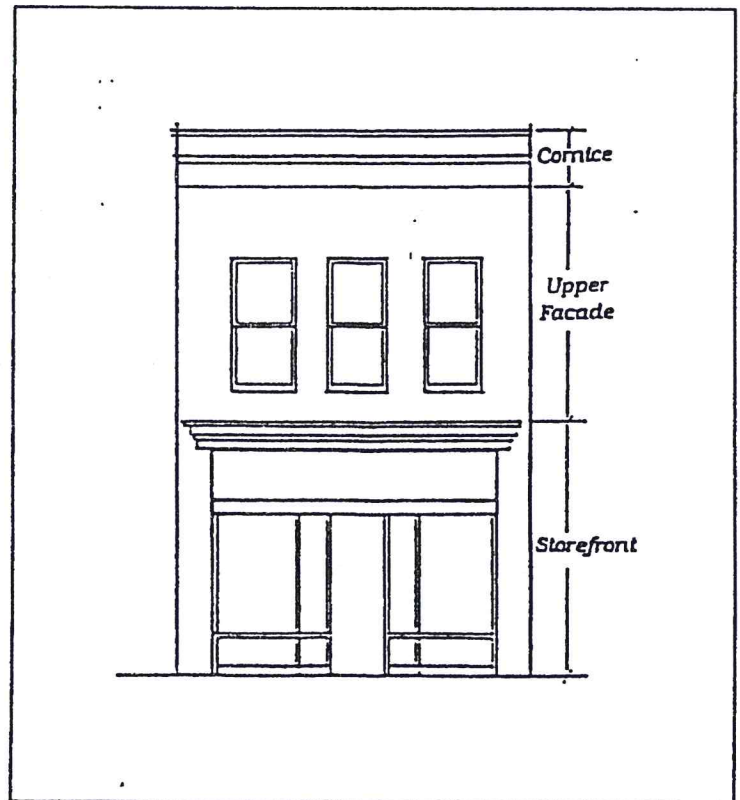
The Central Business area is not a street frozen in one time period. It exhibits a mix of building styles that range from the early federal to the revival styles of the 1890's through the early twentieth-century commercial styles. This variety in building types is visible evidence that the street has changed progressively over time, and that it has remained economically viable throughout its history. The Central Business area's buildings range from the Federal period through Greek Revival, Italianate, and Contemporary style of architecture.

Federal style commercial building express the vigor of the American civilization; in neatly constructed shops, in well-appointed public gathering places and in monumental hall and governmental edifices - in architecture that was at once evidence and stimulus for swelling civic pride. Public buildings were brick with clapboard serving for smaller and less important structures. Most brick structures favored smooth surfaces, laid in the Flemish bond. Interior surfaces were plastered and painted.

Federal taste favors an entry with a fan-shaped light, attenuated columns at the portico, delicate coursing, a finely detailed cornice at the eaves, and a low hipped roof. Window size, shape, and placement tend to be regular with larger window openings or a Palladian motif to express a major public space.

In the 1830's through the 1850's the Greek Revival style was prevailing in Rogersville. This style is defined with a columned portico - either with triangular pediment or flat entablature - in short an imposing monument and an impressive symbol of governmental power, civic spirit, and commercial enterprise.

Shop fronts or vernacular examples may lack the columned portico, but they too are characterized by broad proportion, regular fenestration, and sparse and boldly simple detail. Monolithic piers and lintels framed the shop front. Flat stone lintels with or without carved end



blocks may also head the upper story window openings. There was also a simple cornice at the eaves, with or without dentil moldings.

Many of the buildings represent the Italianate Commercial style of Architecture from the late 1840s. This was one of the most popular architectural styles ever in America, and can be found in most cities and towns. Typically, buildings of the Italianate Commercial Style are brick, have tall display windows, and are capped by a decorative cornice. Projecting details are usually supported on brackets. Upper story windows are vertically oriented.

In the late 1870s a Commercial Vernacular style was prominent in most communities across the country. Typically, the structure is one to two stories, and clapboard or brick sheathed. Facing the street, the gable end may be exposed but generally it was concealed by a flat-roofed "false front." Faint echoes of high style sources are abstractly simple ornamental details: door paneling, shaped lintel, or balustrade. Often only minor features such as brick patterning at the eaves are indicative of the particular period.

More recent buildings of the 1950's are simple relatives of these earlier styles. Typically, commercial buildings of this period are boxes, with brick as a base material, but a majority of the front wall surface is glass. Window frames are slim extruded metal elements, and wall surfaces rarely have pattern or decoration.

Finally, a number of buildings have been altered over time, and regardless of their original style, many now have a changed store front. In some of these cases, the original elevation may have been decorative Italianate Commercial, which is now covered. Often, these fronts were covered, in an attempt to protect the surface from weathering and reduce maintenance costs.

What is interesting about Main Street is that there are great similarities among the buildings, and this helps to establish a sense of visual continuity along the street. This continuity is the result of the reoccurrence of basic architectural features of the buildings fronts. These basic characteristics were strongly established in the first buildings of Rogersville, and have been sustained in later building types.

Specific characteristics that help tie the street together visually were identified in public workshops when these guidelines were developed and they are:

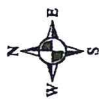
1. A variety of building materials exists: Brick, stone, cast iron, and glass are major materials used for building fronts. Wood and metal are found as trim materials.
2. Buildings with first floor storefronts that are predominantly glass are the most typical structure.
3. Buildings vary in height but the range is limited to buildings three stories on the front elevation.
4. All of the store fronts are built right up to the inside edge of the sidewalk, creating a Uniform wall of store fronts.



Rogersville, Tennessee

Historic District
November 2011

LEGEND
 H-1 Historic



MAP PREPARED BY:
 LOCAL PLANNING OFFICE
 FIRST TENNESSEE DEVELOPMENT
 DISTRICT
 JOHNSON CITY, TENNESSEE

III. DESIGN GUIDELINES - APPROACH

The principal approach in design guidelines is the emphasis of preservation over complete restoration. This view is illustrated through the use of such words as repair, retain, maintain, and protect. It is important to repair original materials rather than replace; retain original storefront elements such as cast iron, maintain the original brick cornices because they are integral in displaying historic character; and protect the original features of an upper elevation to protect a building's integrity.

This manual is divided into several chapters dealing with different types of actions; alterations to site and setting, rehabilitation, infill or new construction and demolition. Illustrated descriptions of the architectural details present in downtown Rogersville have been included to familiarize property owners and merchants with the distinguishing features of the commercial area. Included in the appendices are definitions of terms and a bibliography of suggested readings on historic rehabilitation and of suggested readings on historic rehabilitation and materials conservation. The bibliography is included for consultation by property owners and areas.

WHAT DESIGN GUIDELINES DO :

1. Maintains and reinforces district character.
2. Guides and improves district growth and development.
3. Protects property values by avoiding inappropriate design change.
4. Protects visual integrity of the district.
5. Provides basis for objective design review.
6. Provides educational material for contractors, merchants, and property owners.

WHAT DESIGN GUIDELINES CANNOT DO:

3. Limits growth as it applies to area land use/zoning issues.
4. Limits the use of space within a building (design review applies only to the exterior of the district buildings).
5. Guidelines are intended to guide design change, not prohibit change.
6. Review routine maintenance, which are actions that do not constitute substantial material changes. Routine maintenance may include the following:
 7. Replacement of window glass:
 8. Caulking or weather-stripping:
 9. Replacement of gutters and downspouts as long as the shape and location match the existing:
 10. Replacement of small sections of missing, damaged, or deteriorated siding, trim, roof materials, porch flooring, or steps as long as the replacement materials match the original or existing material in profile, dimensions, and details:
5. Installation of building address numbers:
6. Repair of existing outside lighting:
7. Temporary signs such as political signs, real estate signs, etc.

IV. STANDARDS FOR REHABILITATION

Rogersville's design review guidelines are based upon national standards stated in the Secretary of the Interior's Standards for Rehabilitation. The Secretary of the Interior's Standards are used throughout the country as a basis for local design review guidelines. These standards are the basic points from which the Rogersville guidelines have been developed.

1. A property shall be used for its historic purpose or be placed in a new use that required minimal change to the defining characteristic of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic material or alterations of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time, those changes that have acquired historic significant in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documented, physical or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken in the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

V. COMMERCIAL BUILDINGS

Rogersville's commercial buildings have several basic design elements in common. It will help to use this manual effectively if you can identify these features.

GUIDELINES FOR CENTRAL BUSINESS DISTRICT

GENERAL RENOVATION

- A) Avoid removing or altering historic material or distinctive architectural features: if it's original and in good shape, try to keep it.
- B) Repair rather than replace wherever possible. If replacing, replicate the original based on existing materials. Do not invent something that "might have been."
- C) When extensive replacement is necessary for severely deteriorated material and replication to exactly match the original is not feasible, the new work should match the character of the original in terms of scale, texture, design and composition.
- D) Don't try to make the building look older than it really is. Rehabilitation work should fit the character of the original building.
- E) Your building may contain clues to guide you during rehabilitation. Original detailing may be covered up with other, later materials, or there may be physical evidence of what the original work was like and where it was located.
- F) A later addition to an old building, a non-original elevation or storefront may have gained Significance on its own. It may be significant as a good example of its style, or as evidence of changing needs and tastes. Don't assume it's historically worthless just because it's not part of the original building.
- G) Surface cleaning should be done by the gentlest means possible. **Never** sandblast or use other abrasive methods. Cleaning or paint removal may not be necessary at all.
- H) If no evidence of original materials or detailing exists, alterations should be simply detailed and contemporary in design, yet fit the character of the building.
- I) In the Central Business District the minimum height of a building should be no less than two stories and the maximum height no more than the taller adjacent building plus fifteen feet (15'). Locate mechanical units, dumpster, large trash receptacles, and storage sheds at the rear of buildings, and conceal them with painted or stained wood board fences, or dense evergreen shrubbery.

J) Wood, vinyl clad wood, aluminum clad wood, or solid vinyl windows can be used if original window is wood and all other related Guidelines are met.

K) Position satellite dishes where not visible from street

COMMERCIAL DESIGN GUIDELINES

1. STOREFRONTS

General Standards

A. **GUIDELINE:**
Preserve existing original storefronts by maintaining or restoring, do not remove or alter.

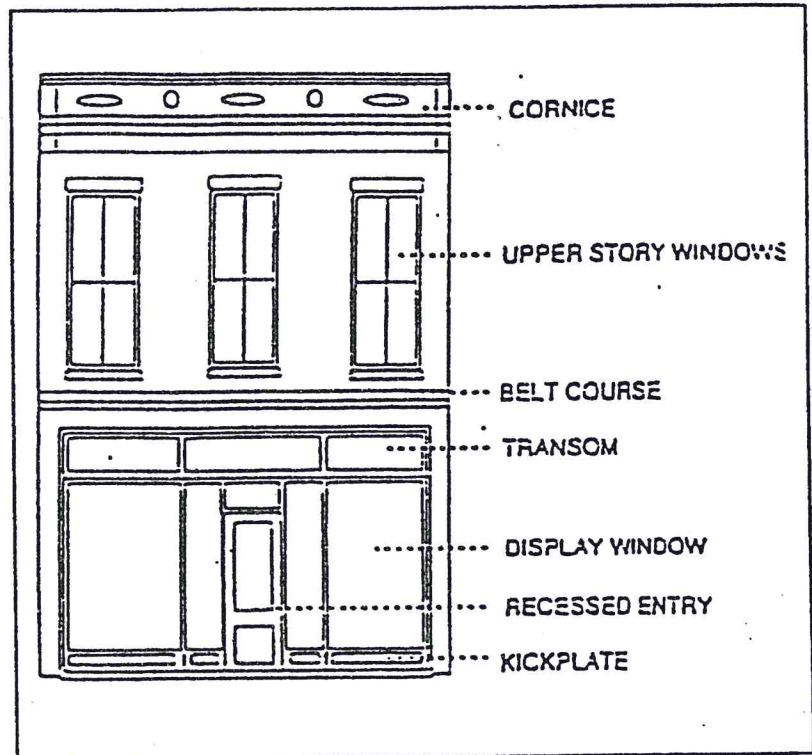
B. **GUIDELINE:**
It is always better to repair than replace deteriorated storefront features.

C. **GUIDELINE:**
If replacement is necessary due to severe deterioration, replace with features compatible in design and materials.

D. **GUIDELINE:**
In restoring a storefront altered after the 1940's, base design and features on pictorial or physical evidence of the original.

E. **GUIDELINE:** Use a traditional storefront arrangement with features, Materials, and proportions typical of similar structure of the same (not earlier or later) architectural style or period when the original design and features cannot be determined.

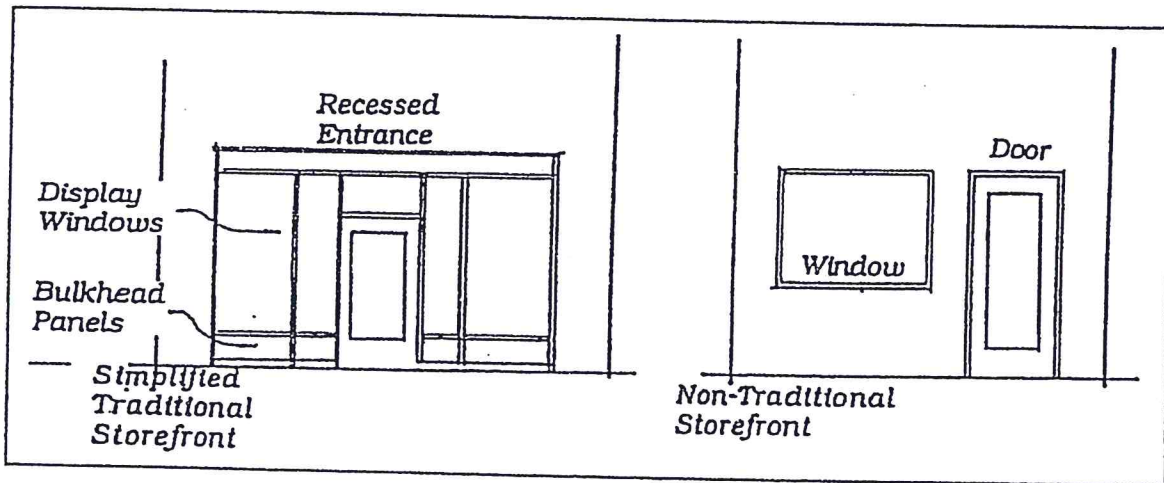
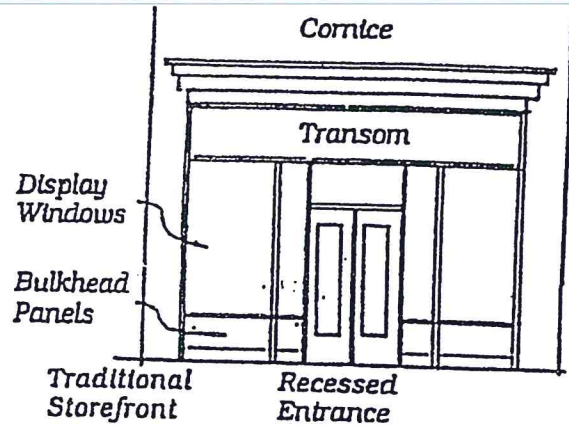
F. **GUIDELINE:** Retain significant storefronts dating from the mid 1930s through 1940s (such as those using decorative tile, glass, or wood) if such remodeling is architecturally important or noteworthy.



2. ENTRANCES

A. GUIDELINE: Preserve by maintaining, restoring or replacing (do not enclose, cover, or alter) the original entrance design, materials, depth, and placement (whether recessed, flush, or other).

B. GUIDELINE: New entrance openings should not be added to storefronts. If an additional entrance is required by codes, place it on the rear or side elevation. New entrance openings should be simple in design and match the design of the original door.



3. TRANSOMS

A. GUIDELINE: Preserve by maintaining or replacing. Do not remove, conceal, enclose or alter transoms where they exist.

B. GUIDELINE: Retain historic transom materials (prism glass, leaded glass, etc.)

C. GUIDELINE: When replacing missing or damaged transoms, replicated design and original configuration (whether it was a continuous band of transom windows, or each transom was individually located above windows and or doors).

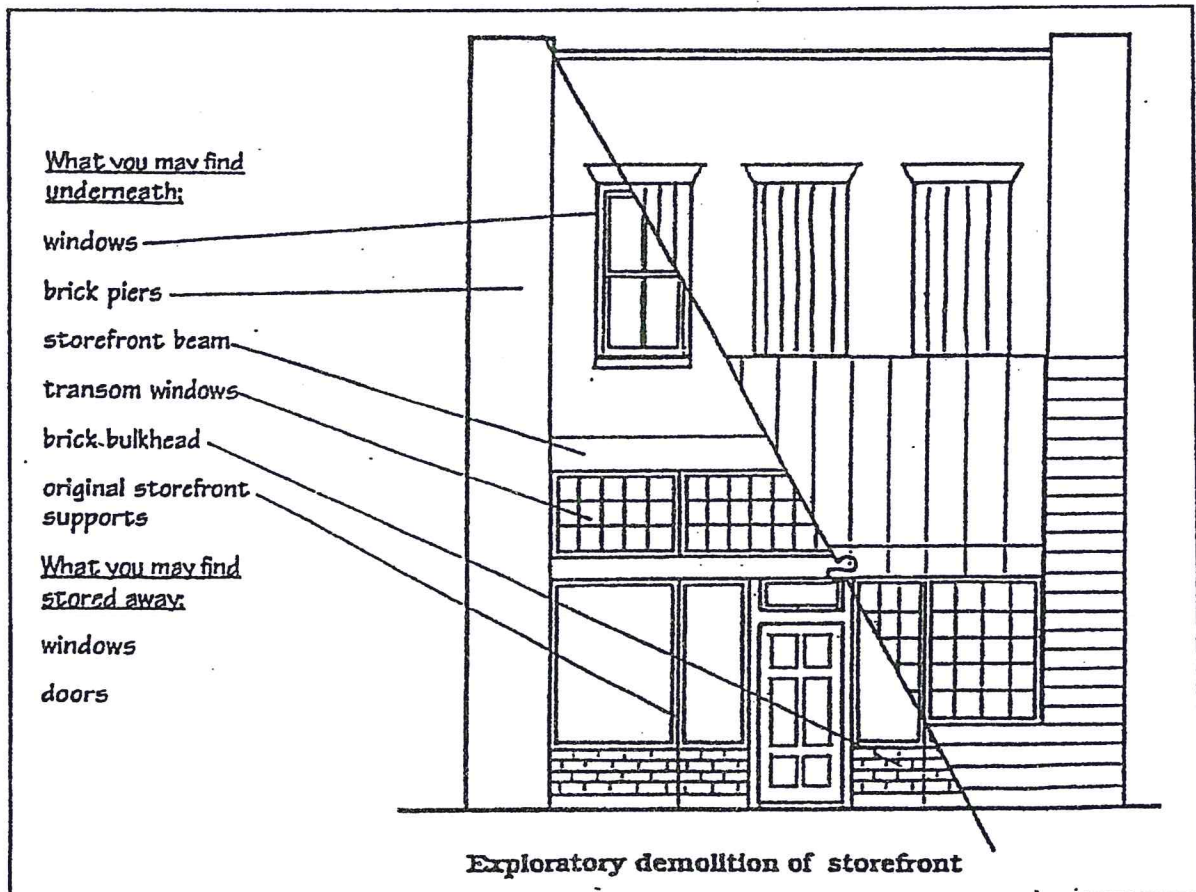
D. GUIDELINE: When replacing missing transom glass or damaged glass, use clear, not tinted glass, if the original cannot be feasibly replicated.

4. DOORS

- A. **GUIDELINE:** Retain and maintain original doors
- B. **GUIDELINE:** Replace missing doors to match original in design and materials.
- C. **GUIDELINE:** If original design is unknown, replace the missing door with a plain wood door with plain glazing (glass area), not solid wood doors, decorative doors, or any kind of period reproduction door (Le. six-panel Colonial style door).

5. DISPLAY WINDOWS

- A. **GUIDELINE:** Preserve by maintaining, restoring or replacing. Do not remove, reduce, cover or alter original display window.
- B. **GUIDELINE:** To replace missing or damaged display window, match the original in location, design, size, and materials.
- C. **GUIDELINE:** If the original design is unknown, replacement windows would maintain traditional scale and be solid glass with as few structural divisions as possible to maintain that traditional transparent storefront appearance.
- D. **GUIDELINE:** Historically appropriate materials should be used for replacement windows. Wood, vinyl clad wood, aluminum clad wood, or solid vinyl windows can be used as replacement windows if the original is wood and all other related Guidelines are met.



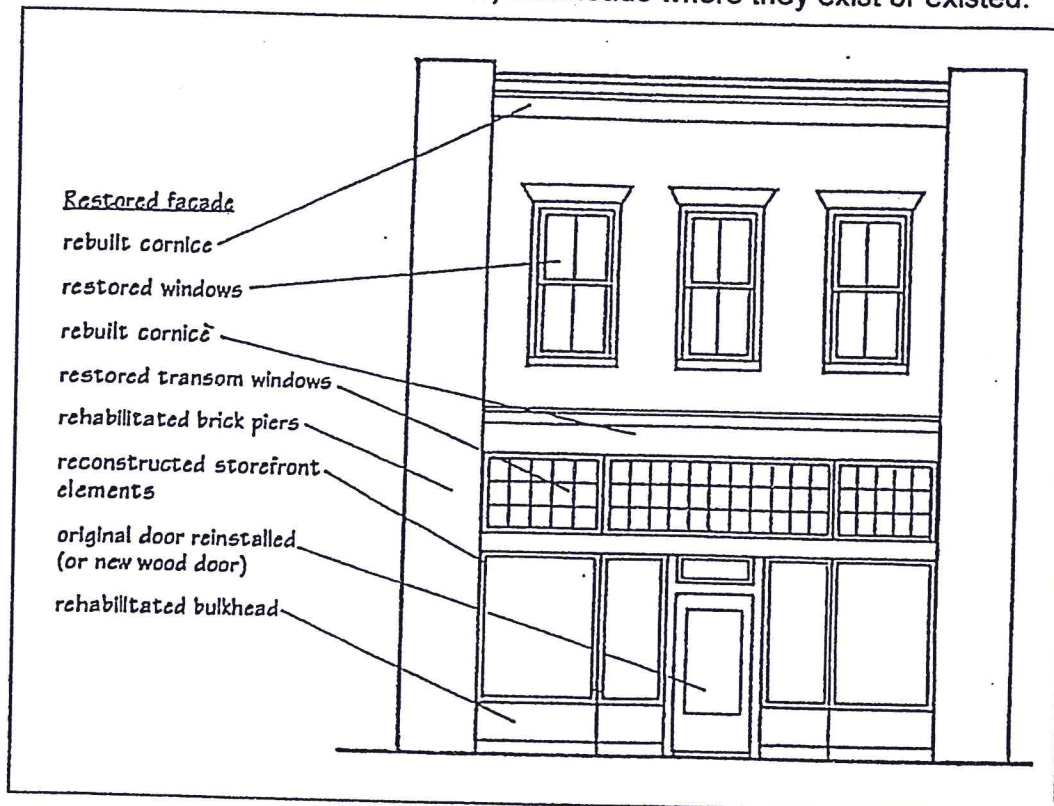
E. GUIDELINE: For mullions or framing, use wood, copper, or bronze metal.

F. GUIDELINE: Glass should be clear, not tinted or decorative (such as glass blocks). If privacy or shade is required, other than that provided by an awning, use interior shades or blinds.

G. GUIDELINE: On the interior, should the building's ceiling interfere with transom space, recess ceiling space slightly away from the transom, or paint rear (interior) of the transom black.

6. BULKHEAD PANELS

A. GUIDELINE: Preserve by maintaining, restoring or replacing (do not remove, conceal or alter) bulkheads where they exist or existed.



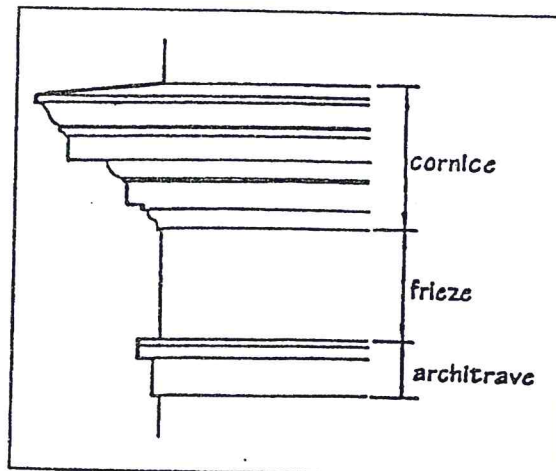
B. GUIDELINE: When replacing missing bulkheads, match the original in design, size, and material.

C. GUIDELINE: If original bulkhead panel material is unknown, use wood. Brick may be substituted when matching original brick of the building or painted to complement other storefront elements.

7. UPPER ELEVATIONS

A. GUIDELINE: Preserve by maintaining or restoring (do not conceal or alter) original appearance and details of upper-story elevations.

B. GUIDELINE: The removal of added metal fronts on the main elevations of buildings is encouraged.



8. WINDOWS

A. GUIDELINE: Preserve by maintaining or restoring (do not enclose) original windows, including dimensions, number and arrangement of lights in each sash, materials, and detailing.

B. GUIDELINE: It is always better to repair than to replace windows when possible. Replace missing or damaged windows to match originals.

C. GUIDELINE: If original window design is unknown, use window type and detailing (sash, materials, dimensions) of the architectural style or period of the building.

D. GUIDELINE: When unable to use original material, use anodized or baked-on enamel aluminum, in white, dark or bronze finish, of the same dimensions (sash, surrounds, trim) as traditional for the building's architectural style or period. These buildings materials are compatible with traditional design elements and have been approved by the Secretary of the Interior. Storefronts shall be wood, vinyl clad wood, aluminum clad wood, or solid vinyl if the window matches the existing window and meets corresponding Guidelines A. and B.

E. GUIDELINE: Do not use windows with internal muntins between glasses.

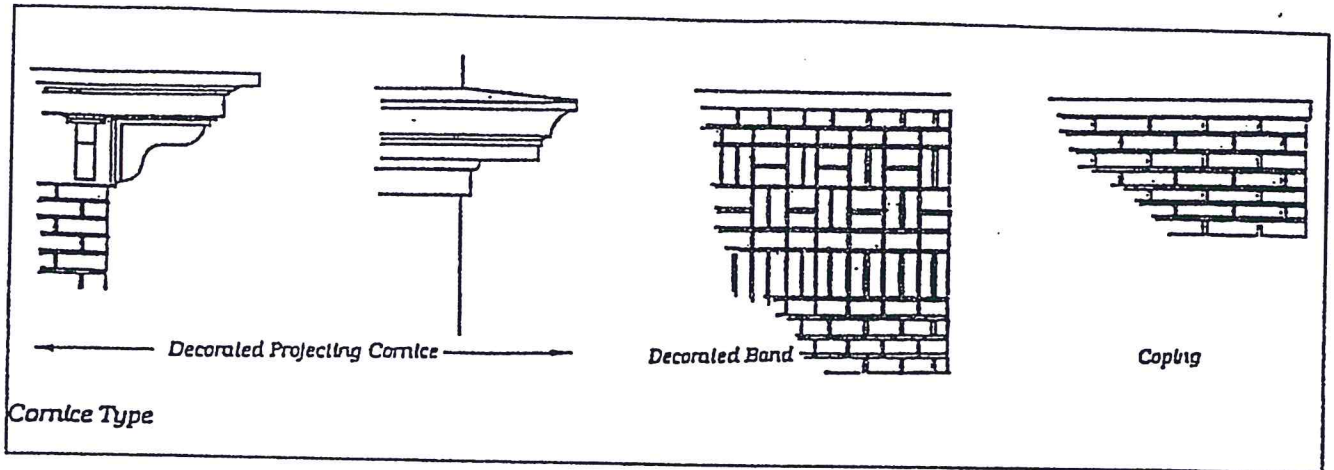
F. GUIDELINE: Do not add shutters unless based on physical or pictorial evidence that shutters existed.

G. GUIDELINE: When replacing missing or damaged shutters, use shutters to fit the window opening so if closed, the window opening would be covered.

H. GUIDELINE: If adding storm windows, use full view or sash proportionate, blind-stop type of wood or aluminum with anodized or baked-on enamel finish.

I. GUIDELINE: Preserve by maintaining or restoring (do not remove, alter, or conceal) original window detailing and decoration such as lintels, sills, hoods, etc.

9. CORNICES



A. GUIDELINE: Preserve by maintaining or restoring (do not remove) original metal and brick cornices.

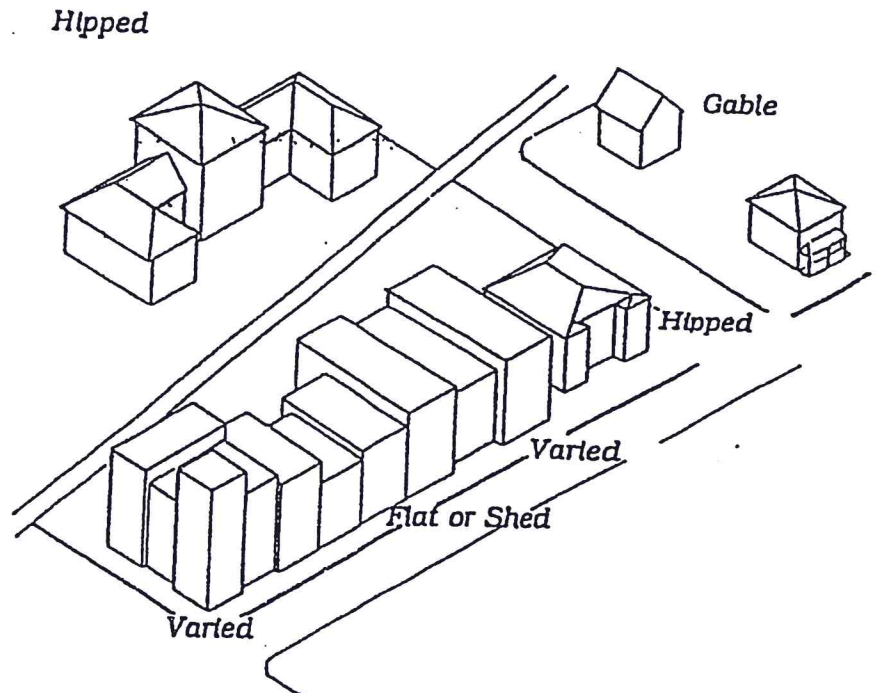
B. GUIDELINE: Do not conceal or obscure original cornice elements.

C. GUIDELINE: When replacing missing or damaged cornices, they should be based on historic evidence such as photographs or "ghosts" marking of cornice locations. If no such evidence is apparent a simple cornice in keeping with similar cornices in the downtown area is appropriate.

10. ROOFS

A. GUIDELINE: Preserve original roof materials where appropriate and feasible.

B. GUIDELINE: New roofs covered with modern rolled composition or asphalt materials are appropriate. Most of Rogersville's commercial buildings have flat or sloping roofs covered in either of these materials. The installation of a higher pitched roof to improve water runoff is acceptable as long as the new roofline is not



visible on the primary elevation and is constructed below the roof parapet wall. Metal roofs are acceptable.

C. **GUIDELINE:** Metal flashing should be used with new roof materials extending along the brick walls to protect against leaks.

D. **GUIDELINE:** Roof parapet walls and features that are original to the building should not be altered or removed.

11. DECORATIVE FEATURES

A **GUIDELINE:** Preserve by maintaining or restoring (do not remove, conceal or alter) original decorative features and detailing such as columns, pilasters, brick corbelling or terra cotta, window hoods or lintels, and cornice ornamentation. When replacing missing or damaged features, base placement of materials on original design, proportion, and detail.

B **GUIDELINE:** If a building's traditional decorative features are missing and cannot be determined either through newspaper or photographic research, base new building features from a similar building of the same architectural style or period. When creating new, but compatible design, use simple (but to scale) decoration.

C. **GUIDELINE:** Do not add decorative architectural features where none existed originally.

D **GUIDELINE:** When repairing existing features, take care to avoid damage by using only compatible methods and materials.

12. CAST IRON

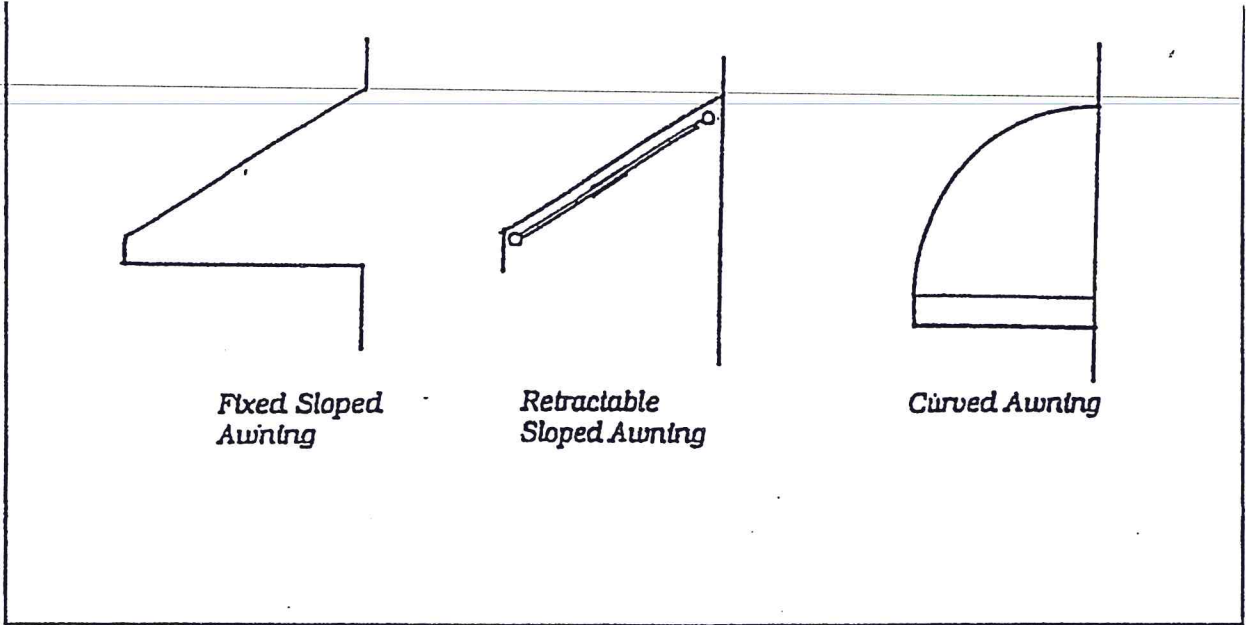
A. **GUIDELINE:** Preserve by maintaining and restoring original cast iron columns and pilasters.

B. **GUIDELINE:** Do not conceal or obscure original cast iron columns or pilasters.

C. **GUIDELINE:** To remove paint from cast iron use chemical agents, paint removers designed for that purpose.

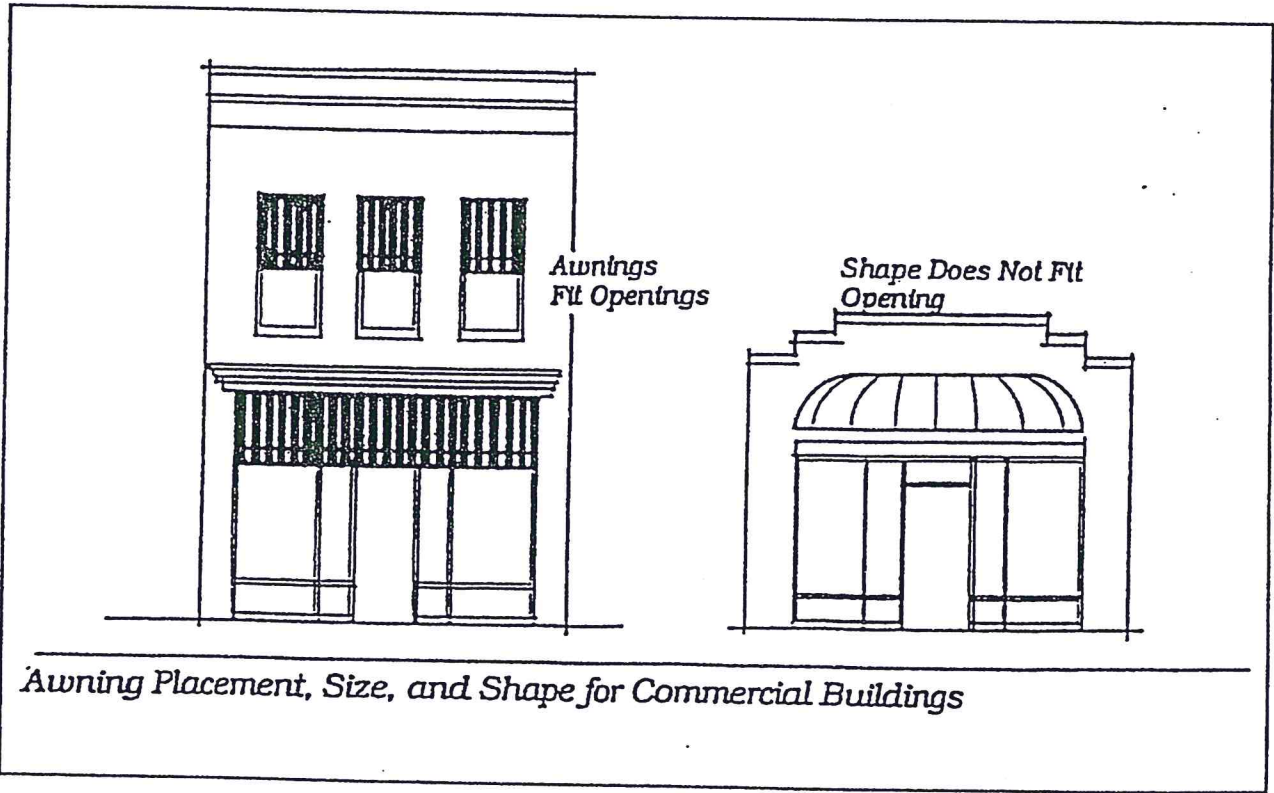
13. AWNINGS

A. **GUIDELINE:** Preserve by maintaining or restoring (do not remove) historic awning where they exist/existed.



B. GUIDELINE: For new awnings, use traditional types, materials, placements and forms. Traditional type awnings are:

1. Retractable or fixed;
2. Canvas, vinyl coated or acrylic material;



Awning Placement, Size, and Shape for Commercial Buildings

3. Positioned individually within major bays, not covering architectural features;

4. To cover no more than a third of the opening (vertically, from sidewalk to top of opening);

C. GUIDELINE: Wood awnings over storefronts are acceptable if they are based on photographic evidence and match the original in design and detailing.

D. GUIDELINE: Do not use modern metal awnings or back lit awnings.

E. GUIDELINE: Retain existing historic metal awnings where they exist.

14. SIGNS

A. GUIDELINE: Preserve by maintaining or restoring (do not remove) existing historic wall signs on masonry walls.

B. GUIDELINE: Use signs in historically traditional locations:

1. On storefront belt courses or on flat surfaces of buildings (attached or painted onto walls, not to exceed 10% of the surface affixed to or 32 square feet which ever is smaller) or painted on glass elements

2. Hanging or mounted inside window or door

3. Projecting, with wood or finished metal brackets mounted into mortar, not brick, no higher than second-story windowsill level.

C. GUIDELINE: Use historic sign materials: finished, carved or sandblasted wood, metal (cast aluminum and/or ultra board cast aluminum) or carved high density urethane, glass, gold leaf, brass and copper letters, not unfinished plywood or plastic. (Neon is appropriate only for interior use unless appropriate for the period or era).

D. GUIDELINE: Signs that are historically important and retain or recreate integrity should be maintained. The size, shape, materials, and color should be historically accurate. Ex: Barber Poles

*revised
2012*

E. GUIDELINE: To Develop Signage Bearing A Traditional Appearance It Is Recommended That:

1. No more than 2 or 3 colors coordinating with the overall buildings colors (i.e. dark back ground with light letters) are used
2. Signage scale and lettering be compatible in scale and appearance, making them complimentary with signs on adjacent buildings for visual unity
3. Serif, san serif, or script lettering, not exceeding 18 inches in height, and not covering more than 60% of total sign area be used
4. Signage of an earlier style than the building itself - (Colonial Williamsburg or New England type) be discouraged
5. Logos and symbols be designed for easy, quick identification of business

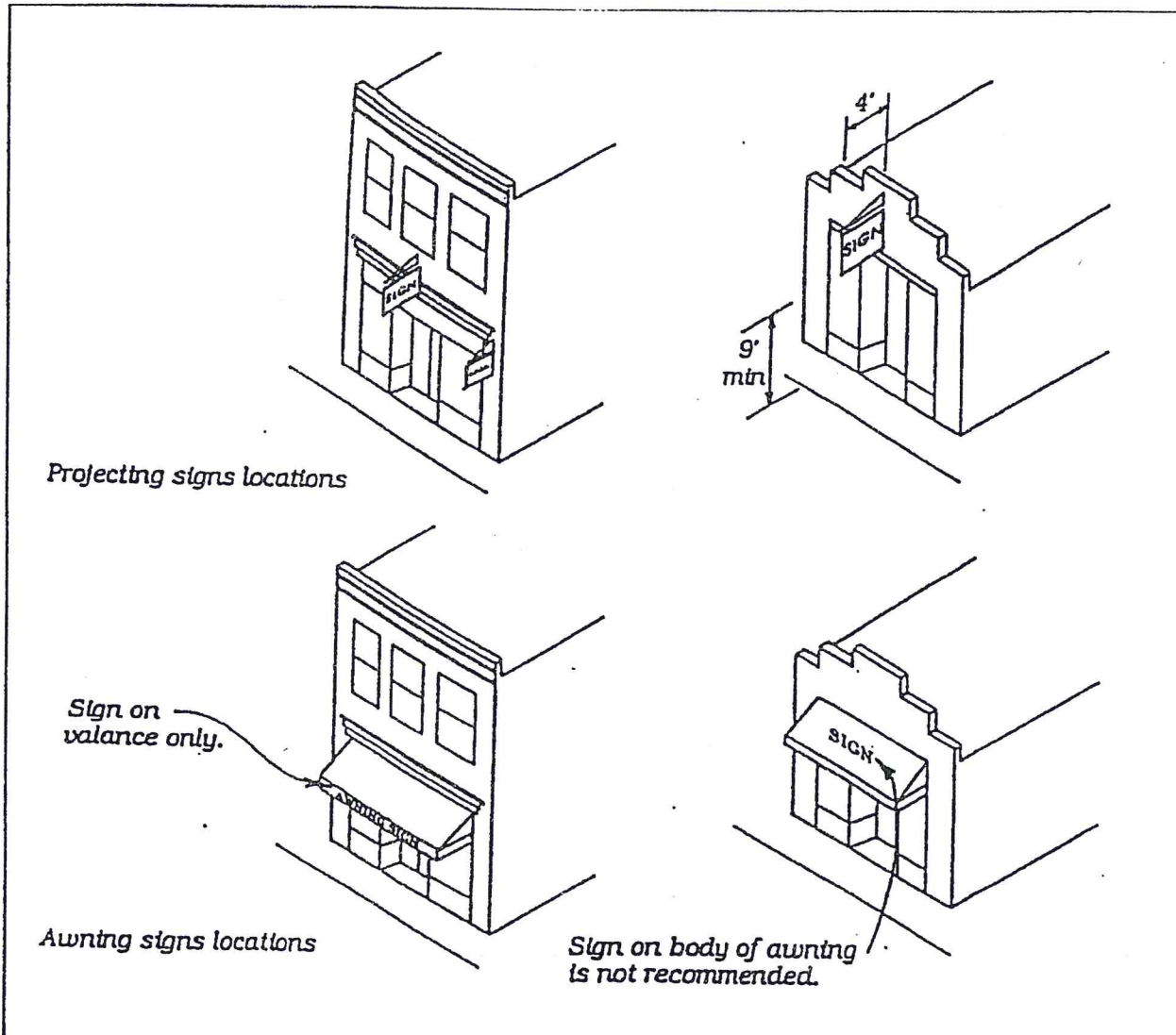


6. No more that 2 signs per building, not counting window signs, no more than 1 freestanding sign per building front be utilized

7. All signage be of shape and proportion to fit the building

F. **GUIDELINE:** Use incandescent spot or up-lit lighting, not floor, flashing, or internally lit type, and lighting not readily visible from sidewalk level.

G. **GUIDELINE:** Billboards, Standardized, internally illuminated signs with brand names, sandwich boards that obstruct pedestrian traffic, and temporary illuminated signs are prohibited.



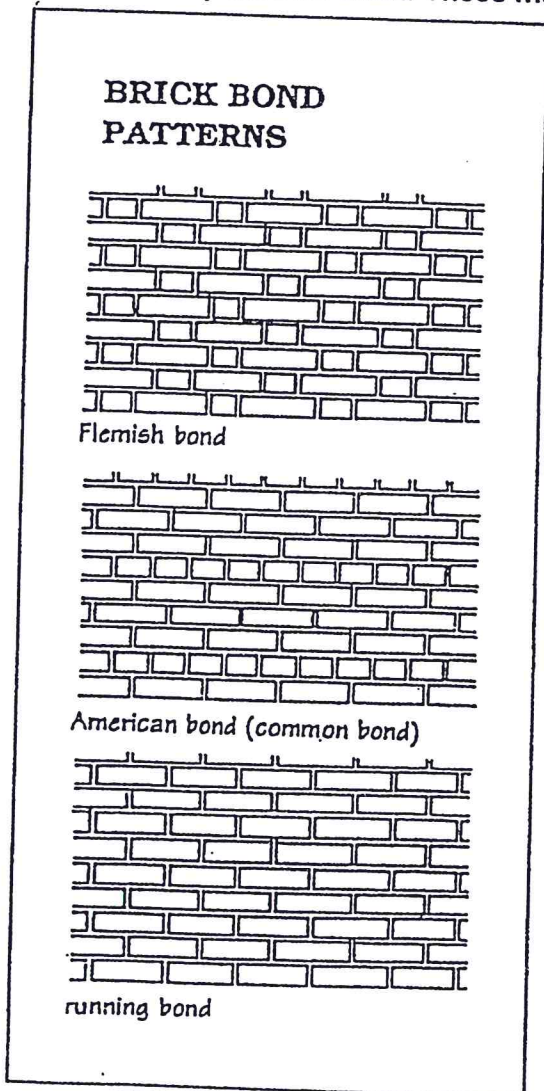
H. **GUIDELINE:** A Sign that pertains to a business that ceased to exist 12 months before shall be considered a new sign and shall follow new sign guidelines.

Note: All signs, billboards, and other advertising structures must comply with regulations established by the Rogersville's sign ordinance.

14. WALLS AND FOUNDATIONS

A. **GUIDELINE:** When repointing masonry, maintain original tooling configuration, joint width and depth, mortar color, and mortar compound compatibility. (Some mortars may weaken and destroy historic brick.)

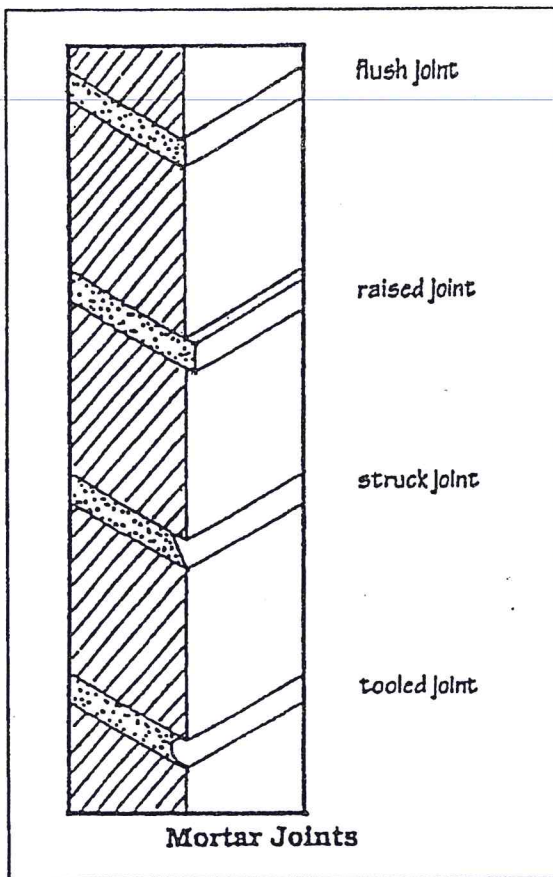
B. **GUIDELINE:** Do not sandblast or use any abrasive method to clean masonry. Sandblasting or high pressure cleaning are not acceptable for brick. These methods remove the outer patina or "crust" of the brick and expose the soft inner core, which can lead to deterioration. High-pressure water cleaning methods, which exceed 600 pounds per square inch, should not be used on brick.



C. **GUIDELINE:** Masonry cleaning should be with detergent cleansers or with appropriate chemical agents. Low pressure water cleaning is acceptable if the pressure is kept between 200 and 600 pounds per square inch. Steam cleaning of brick is also a good method but also requires a professional. The use of chemicals for the removal of exterior paint is also appropriate if a qualified professional performs the work.

D. **GUIDELINE:** Water sealant on brick is not generally recommended. These sealants trap water vapor within the brick and can cause spalling.

NOTE: Building owners applying for federal rehabilitation tax credits must conduct test patches before cleaning masonry. Sand-blasted masonry buildings cannot receive federal tax credits.



E. GUIDELINE: Mortar should never be removed with electric power saws. Mortar should be hand raked and repointed with mortar to match the original or have composition such as one part lime and two parts sand.

F. GUIDELINE: Do not paint brick that has never been painted. If the brick is extremely mismatched or so deteriorated that it cannot withstand the weather, paint is acceptable.

G. GUIDELINE: If painting is necessary, use the original, natural color of the brick.

H. GUIDELINE: Do not paint stone.

I. GUIDELINE: Preserve by maintaining or restoring (do not enclose or alter) original stone or brick foundation materials and design.

15. REAR ENTRANCES AND SIDE ELEVATIONS

A. GUIDELINE: Preserve original windows, doors, and architectural detailing on rear and side elevations.

B. GUIDELINE: Rear and adding simple signage, awnings, can enhance side entrances and lighting that is related to those of the front elevation.

C. GUIDELINE: Keep rear and side entrances clean and uncluttered.

D. GUIDELINE: New windows and doors may be added when needed if in keeping with the size, design, materials, proportions, and location of the originals. Follow guidelines for windows and doors for new openings on the rear and side elevations, as required by law.

E. GUIDELINE: HVAC units and dumpsters placed at rear or side elevations need to be screened by using landscaping, framed lattice panels, or flat wood board fences painted to be visually unnoticeable by blending with surroundings. Coordinate the treatment of rear and side elevations with that of neighboring structures and businesses where possible for a unified look (especially for such things as parking, paving, landscaping, and centrally located trash collection).

F. GUIDELINE: Locate any necessary exterior staircases, balconies, elevator shafts, and additions on rear elevations, when possible.

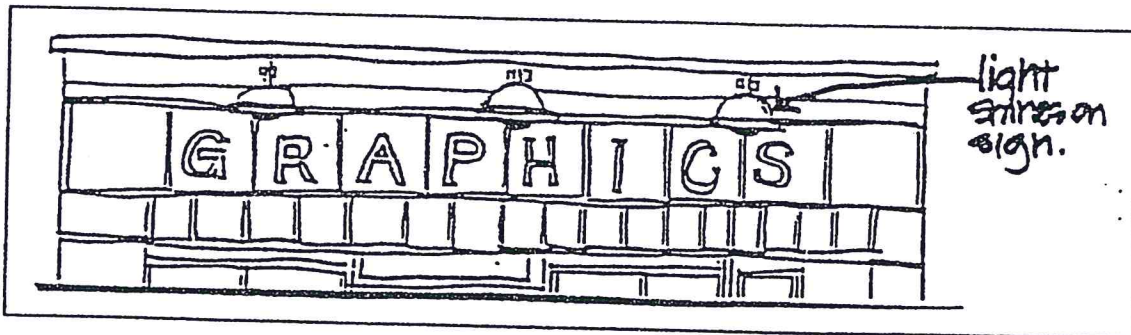
16. COLOR

A properly painted building accentuates and protects its character-defining details. Painting is one of the least expensive ways to maintain historic wooden fabric and make a building an attractive addition to an historic district. Many times however, buildings are painted inappropriate colors or colors are placed incorrectly. The Historic Zoning Commission reviews painting projects because of the importance of proper painting for building maintenance. It does not regulate color.

- A. GUIDELINE: Do not paint unpainted masonry surfaces (for exceptions, see guidelines for walls and foundations).
- B. GUIDELINE: Keep color scheme simple, using no more than 4 colors.
- C. GUIDELINE: Use colors of or complimentary to the dominant neutral building colors of the structure or others in the area (such as dark red or red-brown of brick, taupe or gray tint of stone).
- D. GUIDELINE: Do not use loud, harsh or garish colors.
- E. GUIDELINE: Do not use sandblasting, open flames, or high pressure water wash to remove paint from masonry, soft metal, or wood. Take precautions when removing older paint layers since they may contain lead.

F. GUIDELINE: Prime surfaces if bare wood is exposed or if changing types of paint, such as from oil-base to latex. Do not apply latex paint directly over oil-based paint as it will not bond properly.

17. LIGHTING



- A. GUIDELINE: Use lighting to display the building composition at night
 - 1. Coordinate lighting on these four elements:
 - Window displays
 - Entrances
 - Signs
 - Building details

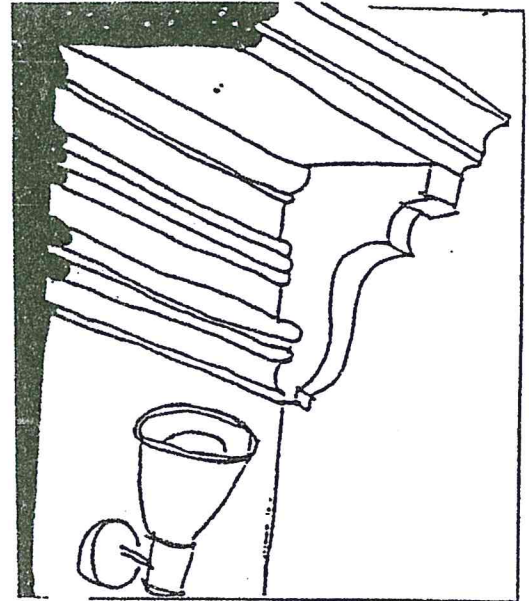
2. The display window lighting should remain the dominant element. Don't overpower this with extensive lighting on other facade elements.

B. **GUIDELINE:** At ground level, balance the color and intensity of lighting among building features to facilitate easy eye movement between sign, entrance and display windows.

1. Sign lighting should be balanced in color and intensity with light in display windows.
2. Warm-colored light is preferred for all exterior lighting since this is pleasing to the eye, and will more easily draw attention to window displays
3. Fixtures should be concealed, very simple in design or appropriate to the period of the building.

C. **GUIDELINE:** Provide light levels adequate for safety.

D. **GUIDELINE:** On larger lots where automobiles and pedestrian crossing conflict, use low level light post (bollards) to highlight primary pedestrian walk ways or crossings.



18. FENCES, WALLS

A. **GUIDELINE:** Preserve original retaining walls and fences where they exist. New retaining walls may be added only as appropriate to the age of the structure/property and shall be in compliance with current building codes. Masonry retaining walls of stone (limestone), brick, or shaped block may be used. Retaining walls constructed of railroad timbers or plain concrete blocks shall not be used.

B. **GUIDELINE:** Create a sense of enclosure for open spaces without using fencing material. Use plant materials, architectural screens, and changes in paving levels to define edges of open spaces.

C. **GUIDELINE:** Use flat wooden board fencing to enclose rear yards. Fencing should stand no taller than 6' (feet) with the front sections located no closer to the front elevation than about half the distance between the front and rear facades.

D. **GUIDELINE:** Do not use freestanding walls.

E. **GUIDELINE:** Black, brown, or green vinyl clad chain link fencing of no more than 8' in height, may be installed in the rear yard only and screened with plantings.

F. **GUIDELINE:** Where appropriate to the age of the structure/property and the neighborhood wrought iron or powder-coated aluminum fences similar in appearance to wrought iron [no more than forty-two (42) inches high in the front yard and no more than five (5) feet in the side or back yard] may be used.

19. ADDITIONS

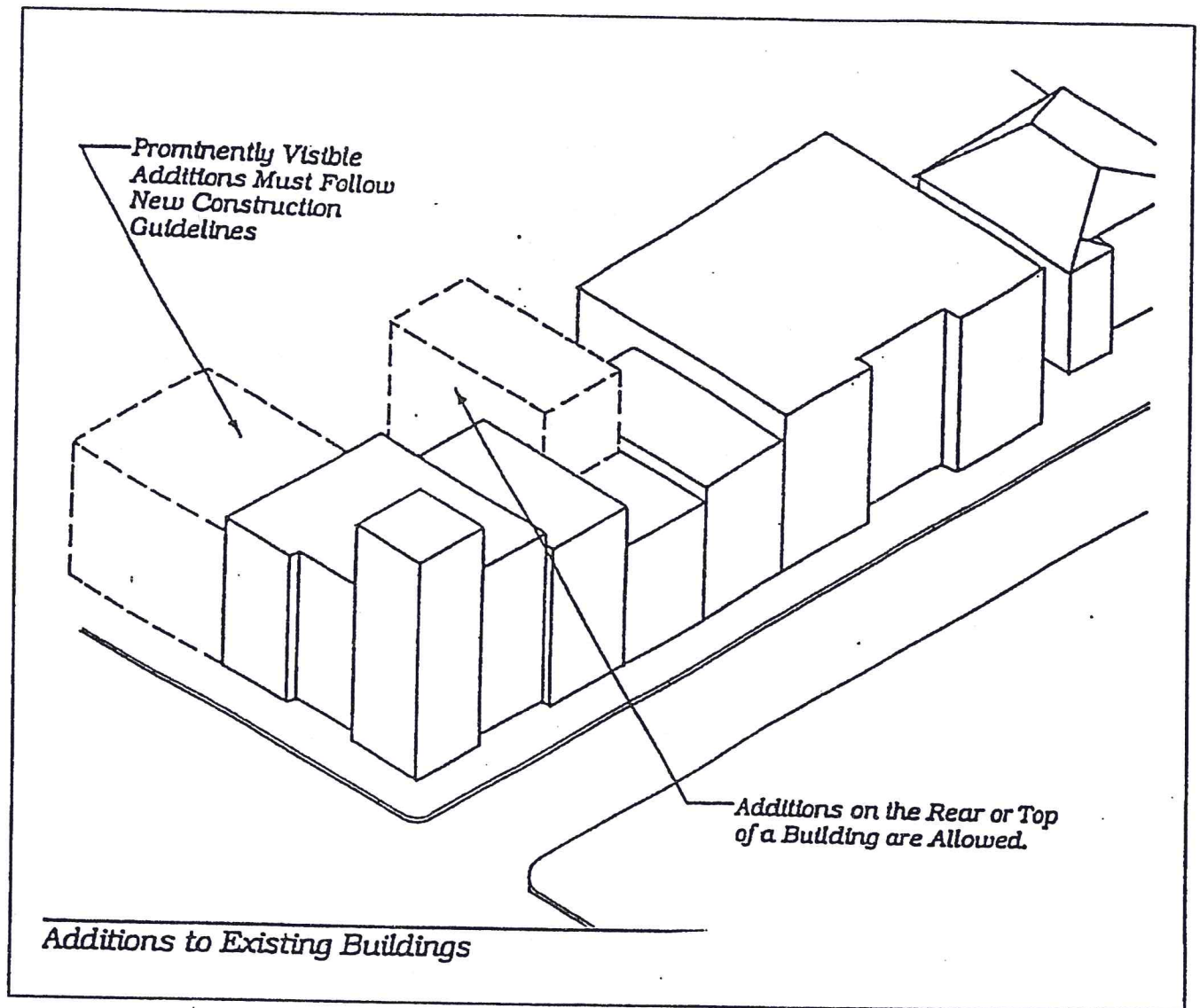
- A. GUIDELINE: Additions should respond architecturally to adjacent buildings in general and to the building they are a part of in particular. They should blend in by using similar materials, shape, and rhythm and proportion of openings.
- B. GUIDELINE: If the original building is architecturally significant, the addition should take a respectful "back seat" to it. The addition should not overpower the original. An addition may be taller than the original building if site consideration and design still allow the old building to remain dominant.
- C. GUIDELINE: In general, additions should follow the new construction guidelines. They should appear contemporary but in context with the original. They should be sympathetic but not imitative in design.

20. ROOFTOPS ADDITIONS

- A. GUIDELINE: Rooftop additions are inappropriate unless the addition will not be readily visible from the street, pedestrian viewpoint or scenic vista.
- B. GUIDELINE: If a rooftop addition is desirable, keep it as small and set back from the visible elevations of the building as possible.
- C. GUIDELINE: Design should be compatible with, not imitative of, the original structure through use of compatible (blending) materials, color, shape, and rhythm and proportion of opening.

21. REAR ADDITIONS

- A. GUIDELINE: Preserve early (pre-1945) additions of architectural importance.
- B. GUIDELINE: Remove later (after -1945) additions only if incompatible, where feasible or desirable.
- C. GUIDELINE: For necessary additional space, build a new addition:
 - 1. At rear of the building
 - 2. With lower roof than the original structure
 - 3. Of compatible design (one that blends in with the old structure) in proportion and rhythm of openings, size, scale, and materials
 - 4. Which remains secondary in importance to the front elevation



5. So as not to cause irreparable damage to or destroy the rear elevation and its details.

D. GUIDELINE: In general, additions should follow the new construction guidelines. They should appear contemporary but in context with the original. They should be sympathetic in design.

NEW CONSTRUCTION

22. GENERAL STANDARDS

CENTRAL BUSINESS DISTRICT NEW CONSTRUCTION GUIDELINES

Infill construction is encouraged on vacant sites in the Central Business District. New construction will improve the physical quality and economic health of the district.

For most new construction projects, the best approach will be to HARMONIZE with and reinforce the context of existing buildings. The purpose of the design guidelines is to encourage new buildings that complement the best of the existing environment.

A previously existing building should be reconstructed only if it will be on its original site, and can be accurately replicated based on documentation of its original design and detailing such as photographic evidence or original drawings.

The size and height of a new building can have a drastic effect on the street elevations. New construction should not stand out in the streetscape but should blend in.

A. GUIDELINE: Maintain the perceived similarity in building heights at street level, with a height of no more that 15 feet higher than the tallest adjacent building.

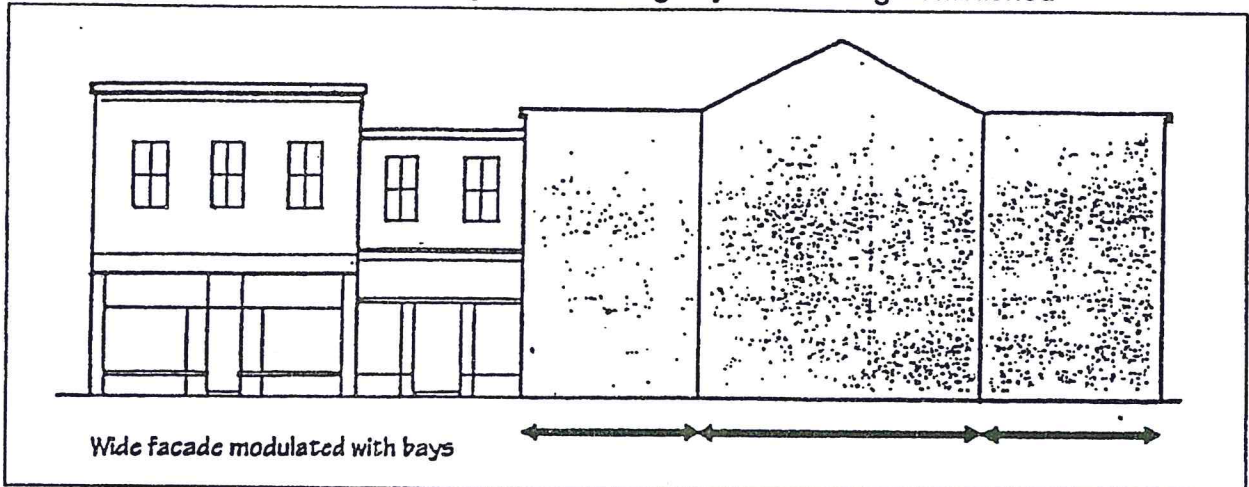
B. GUIDELINE: Maintain the building line at the sidewalk edge. Align cornices, upper story windows and storefront windows. This is particularly



Commercial Height and Width

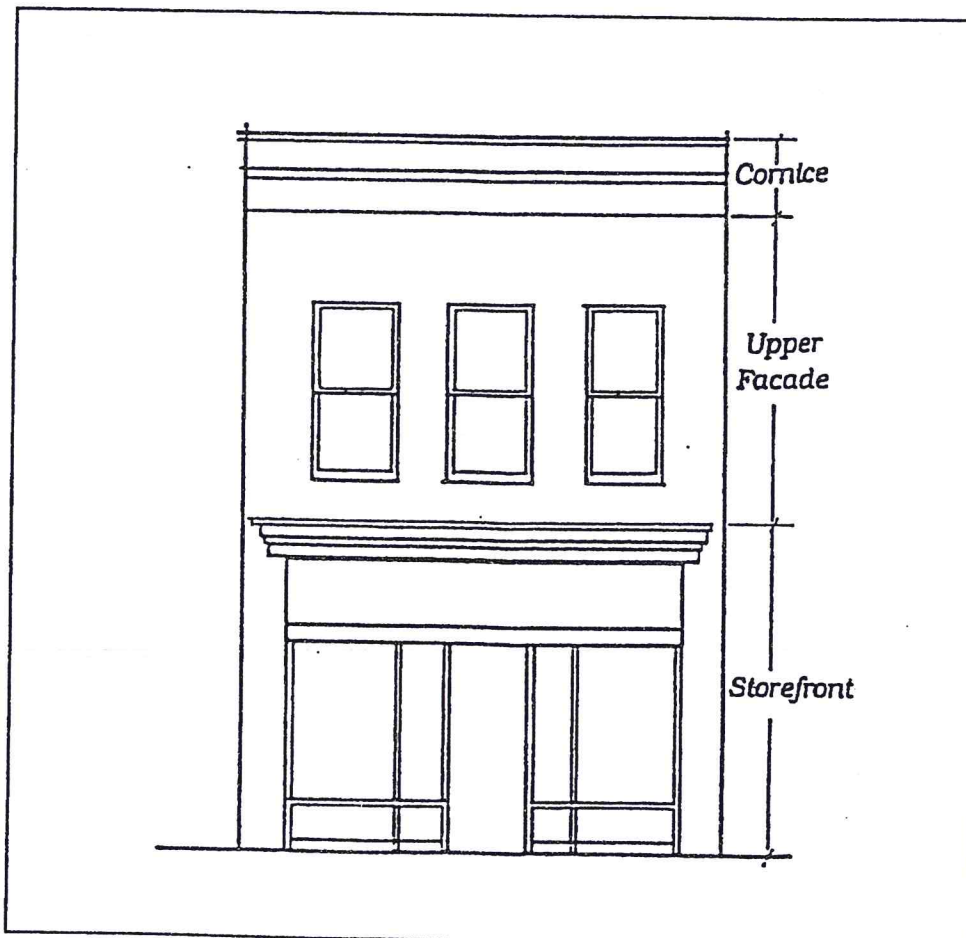
important wherever the new building will abut one of the rustonc structures in the district. Align storefront heights with others on the block.

C. GUIDELINE: Buildings that are used as infill (fills vacant space between buildings) should be similar to adjacent buildings by maintaining established



rhythms, patterns and shapes, size, placement of windows and doors, and with vertical and horizontal emphasis.

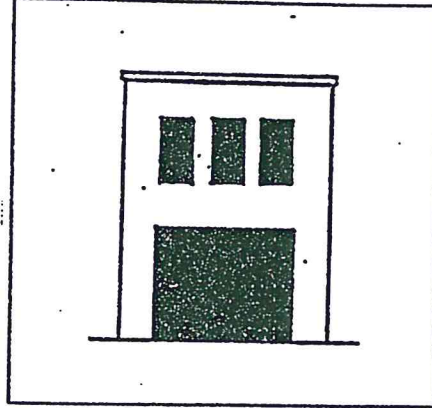
D. GUIDELINE: Reinforce the established horizontal lines of the elevations. Maintain the rhythm in the widths of new buildings for a single lot, as well as for those that cover more than one lot.



- E. GUIDELINE: Vary materials or architectural treatment to maintain the traditional rhythm of the building widths. Avoid large featureless surfaces.
- F. GUIDELINE: Buildings with flat roofs should have cornices or decorative bands to "cap" their elevations.
- G. GUIDELINE: Use traditional existing materials. Such as stone, wood, brick, glass, stucco, metal cornices and awnings, cast iron, etc. Avoid using highly reflective surfaces that will generate glare, especially at ground level.

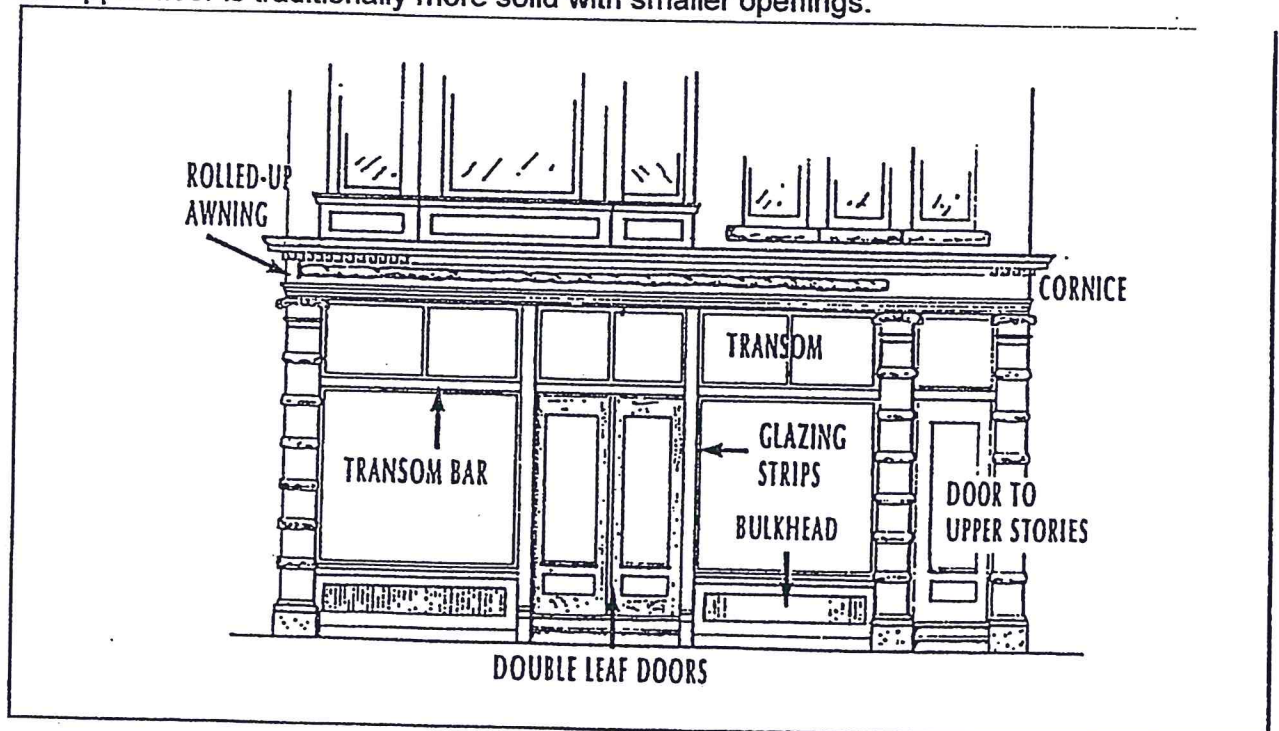
H. GUIDELINE: No exterior finish shall be of blocks, metal, vinyl, aluminum, or EIFS type materials.

J. GUIDELINE: Sixty-five percent of a street level elevation should be glass or other treatment of visual interest. Consider using storefronts, decorative surfaces or other features to provide visual interest to pedestrians. Avoid large expanses of featureless wall surface at the street level: these will discourage pedestrian activity in the Commercial Downtown.



J. GUIDELINE: Provide direct access from a public sidewalk. Provide entrances at grade level.

K. GUIDELINE: Maintain the traditional distinction between street level and upper stories. This difference is expressed in the proportions of storefront windows to upper story windows. The first floor is primarily transparent, whereas the upper floor is traditionally more solid with smaller openings.



L. GUIDELINE: Include traditional elevation components in all new designs.

M. **GUIDELINE:** Screen rooftop equipment from view.

N. **GUIDELINE:** A previously existing building should be reconstructed only if it will be on its original site, and can be accurately replicated based on documentation of its original design and detailing such as photographic evidence or original drawings.

23. DEMOLITION

GUIDELINE: Demolition of existing buildings shall be permitted if demolition has been ordered by the Building Inspector for the public safety because of an unsafe or dangerous condition, which constitutes an emergency.

24. MOVING BUILDINGS

A. **GUIDELINE:** Move an historic building only under these circumstances:

1. If the only alternative is demolition

2. When it does not involve the loss of a historic building to create space for it

3. When it will be architecturally compatible with adjacent buildings style, height, scale, materials, shape, design, setback, and setting of similar compatible materials

VI. RESIDENTIAL DESIGN GUIDELINES

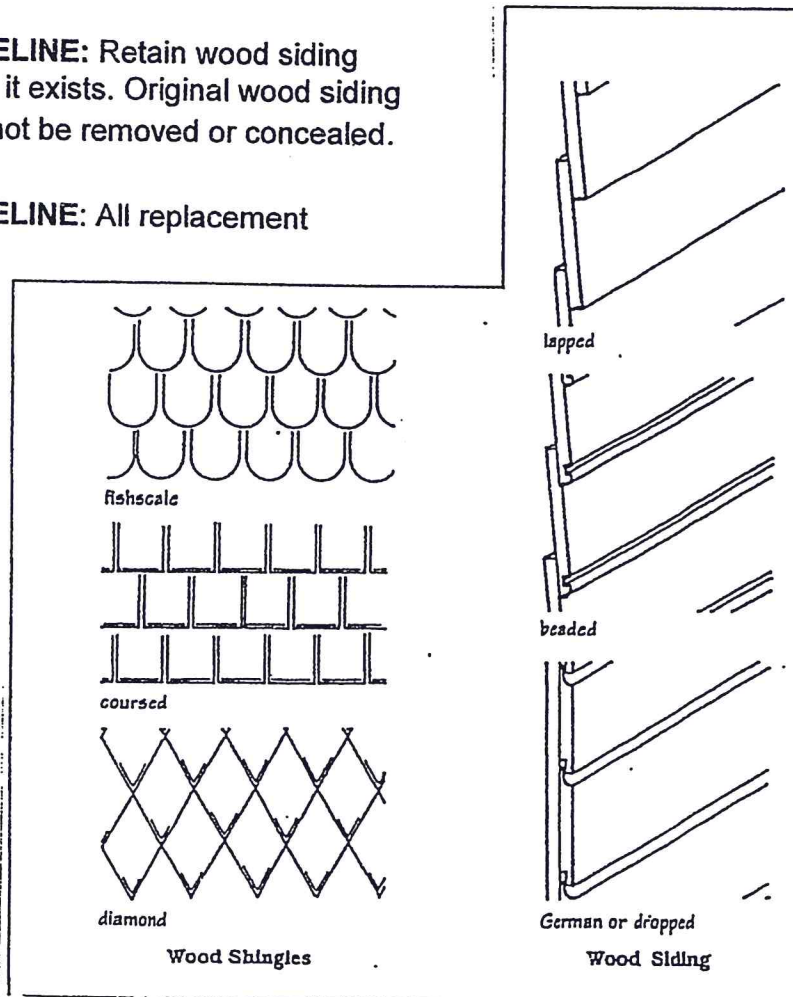
GENERAL STANDARDS

Preserve (maintain or restore, do not replace, cover, or alter) original building materials. No vinyl or fiberglass (siding, soffit, shingles, doors, post, nor other trim) is acceptable.

25. WALLS

A. **GUIDELINE:** Retain wood siding where it exists. Original wood siding must not be removed or concealed.

B. **GUIDELINE:** All replacement



materials will match original surfaces in texture, size, configuration, and lap dimensions. If replacement of wood siding is necessary, match original in size, direction, and lap dimension. Hardi-board or its equivalent is an approvable replacement material.

C. **GUIDELINE:** Retain original wall shingles.

D. **GUIDELINE:** Artificial sidings must not be applied over original historic wood siding materials.

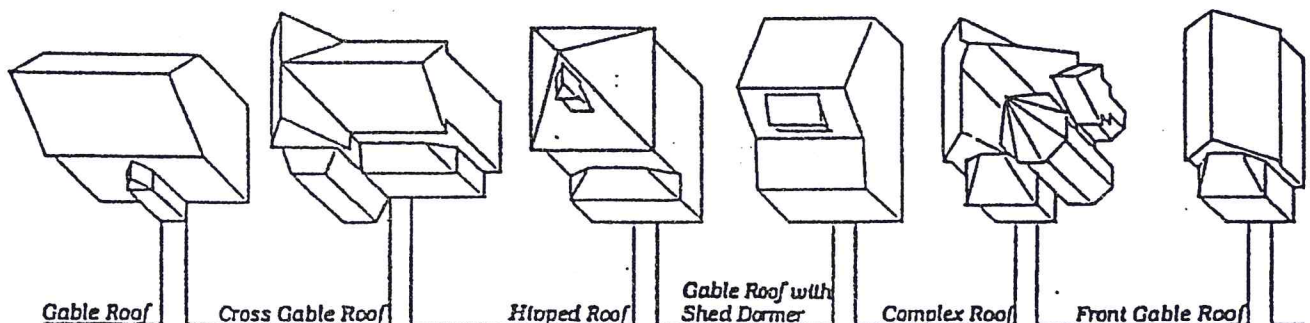
- E. **GUIDELINE:** For masonry repainting, maintain original tooling configuration, joint width and depth, and mortar color.
- F. **GUIDELINE:** Do not sandblast or use any abrasive method to clean masonry.
- G. **GUIDELINE:** When repointing masonry, be certain to use the correct mortar formula (see Appendix Preservation Brief #1 for additional information)

26. CHIMNEYS

- A. **GUIDELINES:** Preserve, maintain or restore original chimneys.
- B. **GUIDELINES:** Follow masonry repainting and cleaning guidelines for repairs.

27. ROOFS

- A. **GUIDELINE:** Preserve original roof material, shape and pitch where they exist.
- B. **GUIDELINES:** If replacement is necessary, use original materials if



possible. When not economically feasible to repair or replace with original materials, substitute fiberglass shingles or metal of a historically appropriate color. (See Guideline C.)

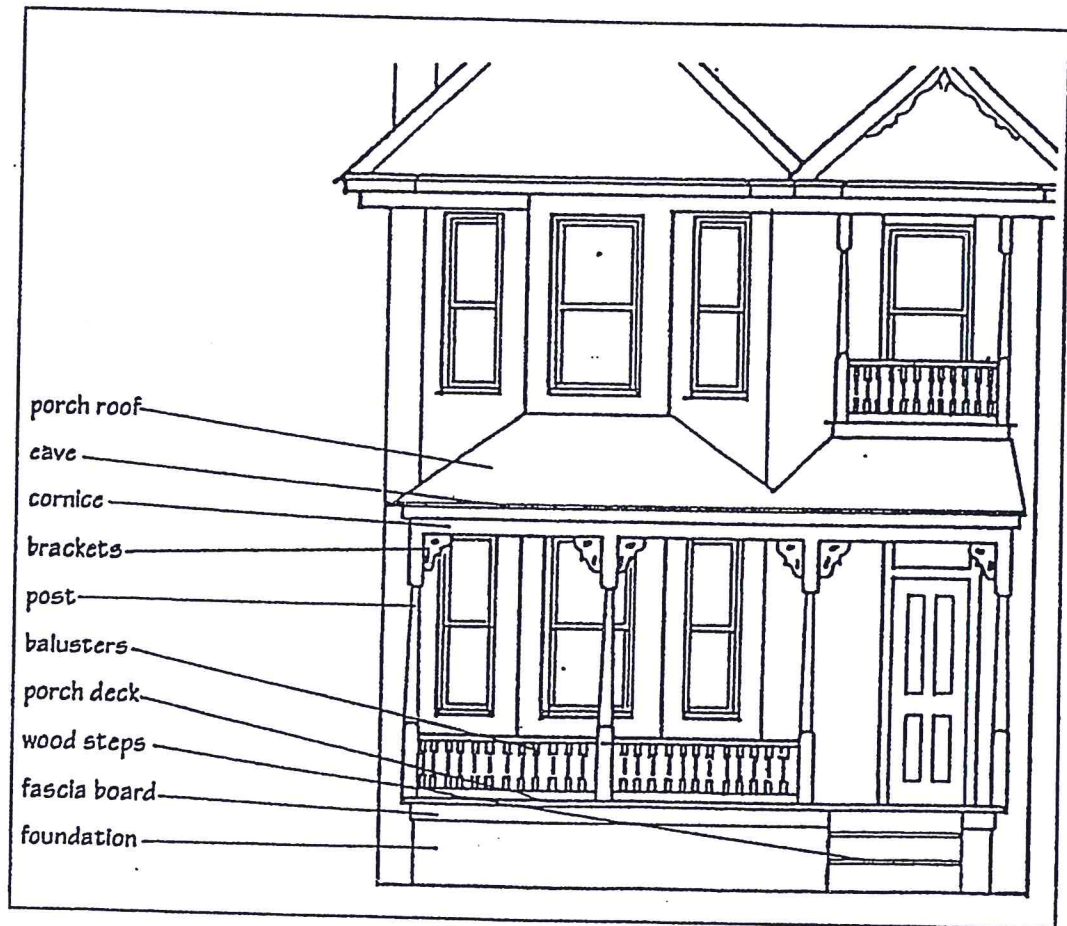
- C. **GUIDELINE:** Metal roofs are an intrinsic part of the district. Pressed, or standing seam metal roofs should be repaired and retained. The removal of standing seam or pressed metal roofs should occur only as a last resort.
- D. **GUIDELINE:** Maintain original size and shape of dormers.
- E. **GUIDELINES:** Do not add dormers where none existed originally where visible from a public street.

28. FOUNDATIONS

- A. **GUIDELINE:** Preserve (maintain or restore, do not enclose or

alter) original porch foundation materials and design, whether solid or pier, brick, stucco or stone, etc.

- B. **GUIDELINE:** Use lattice panels (preferably of 45 or 90 degree angles with minimum *1/2-inch* thick wood strips and square opening of no more than two inches) or vertical wood slats where needed between foundation piers.
- C. **GUIDELINE:** Open weave and other brick foundations should not be Removed or concealed.
- D. **GUIDELINE:** Pierced brick and brick pier porch foundations are appropriate for the Rogersville residential area as these foundations are typical of historic foundations design found throughout the district. The raised, solid design depicted below is not appropriate for the Rogersville residential area as its construction illustrates later building techniques.



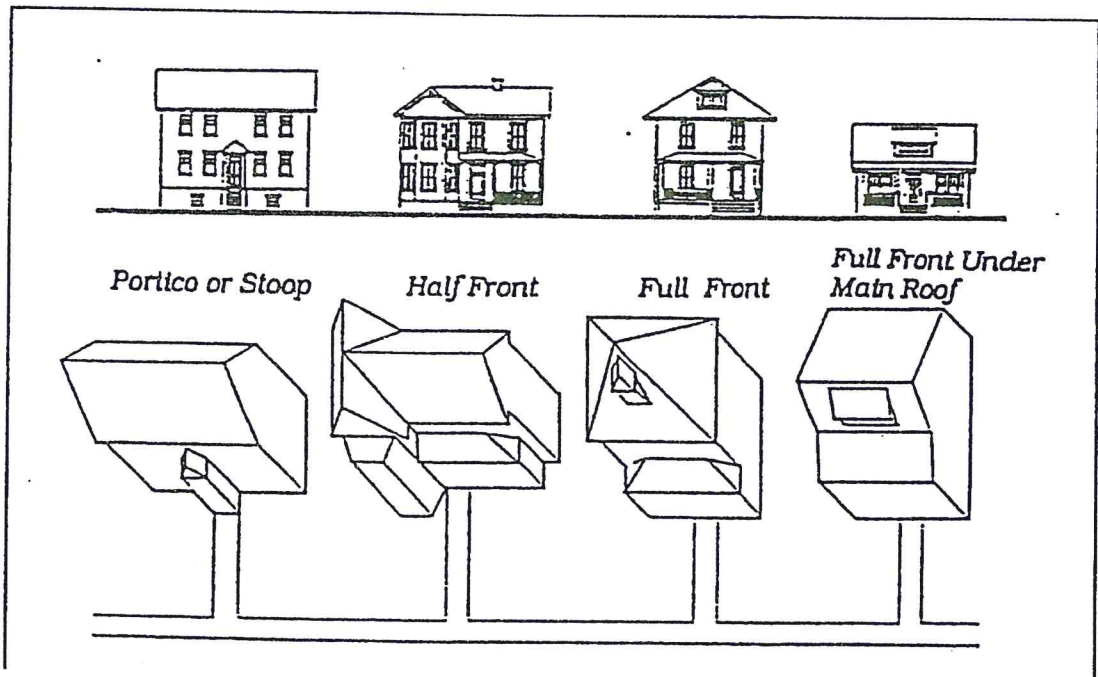
29. ARCHITECTURAL FEATURES

GENERAL STANDARDS

- A. **GUIDELINE:** Preserve (maintain or restore, not alter or remove) original porches and features – location, outline, height, roof pitch, and detailing.
- B. **GUIDELINE:** Do not use features which have no historical basis or create an earlier appearance.
- C. **GUIDELINE:** Repair rather than replace features whenever possible.
- D. **GUIDELINE:** If replacement is necessary, accurately match the new in material, location, scale, proportions, and design based on physical or pictorial evidence, not conjecture.
- E. **GUIDELINE:** Vinyl or aluminum will not be used on soffit.
- F. **GUIDELINE:** Painted aluminum will be allowed to cover fascia boards behind guttering.

30. PORCHES

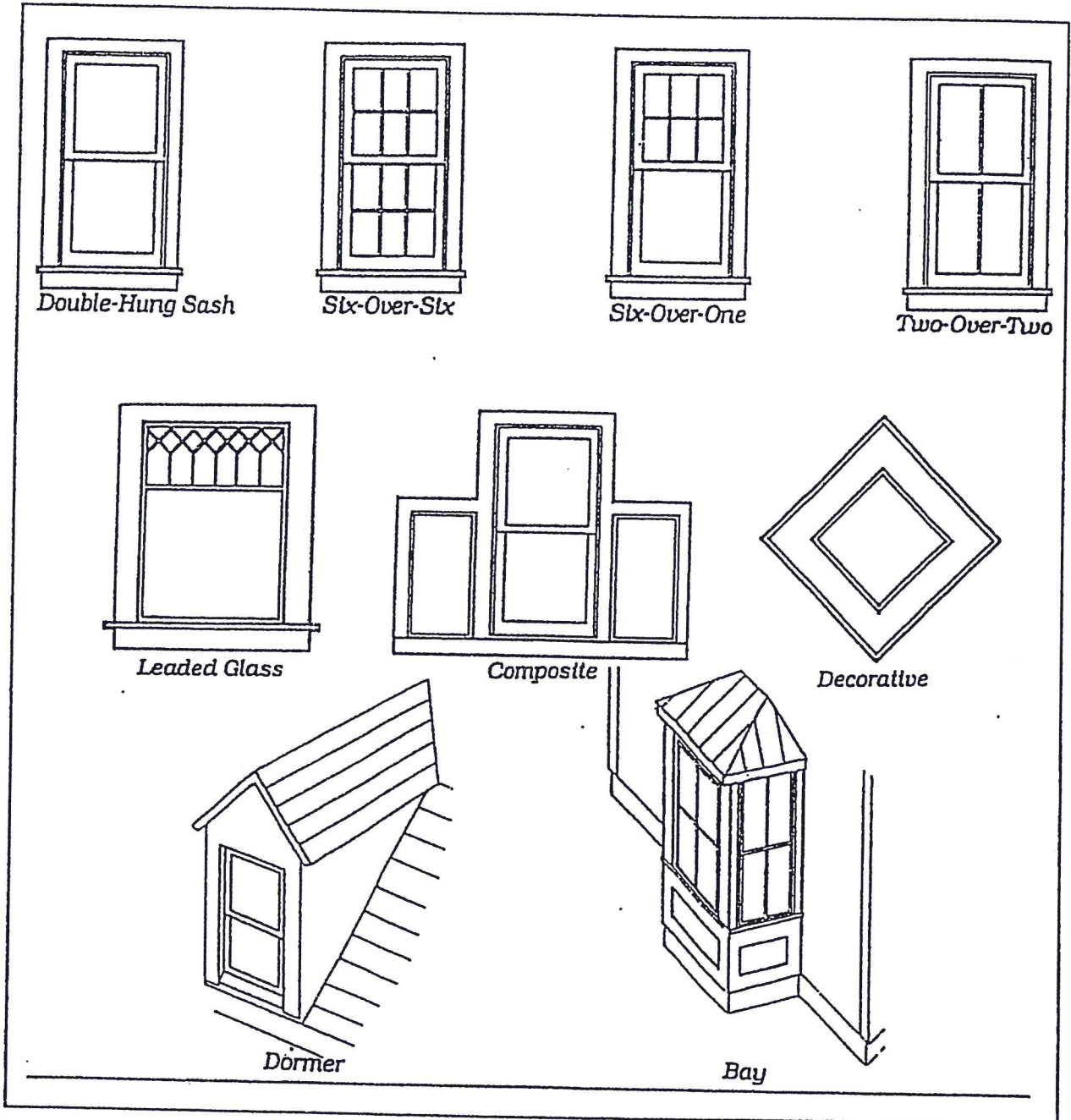
- A. **GUIDELINE:** Preserve original porches and features – location, outline, height, roof pitch, and detailing.
- B. **GUIDELINE:** Do not enclose front porches. Enclose rear or



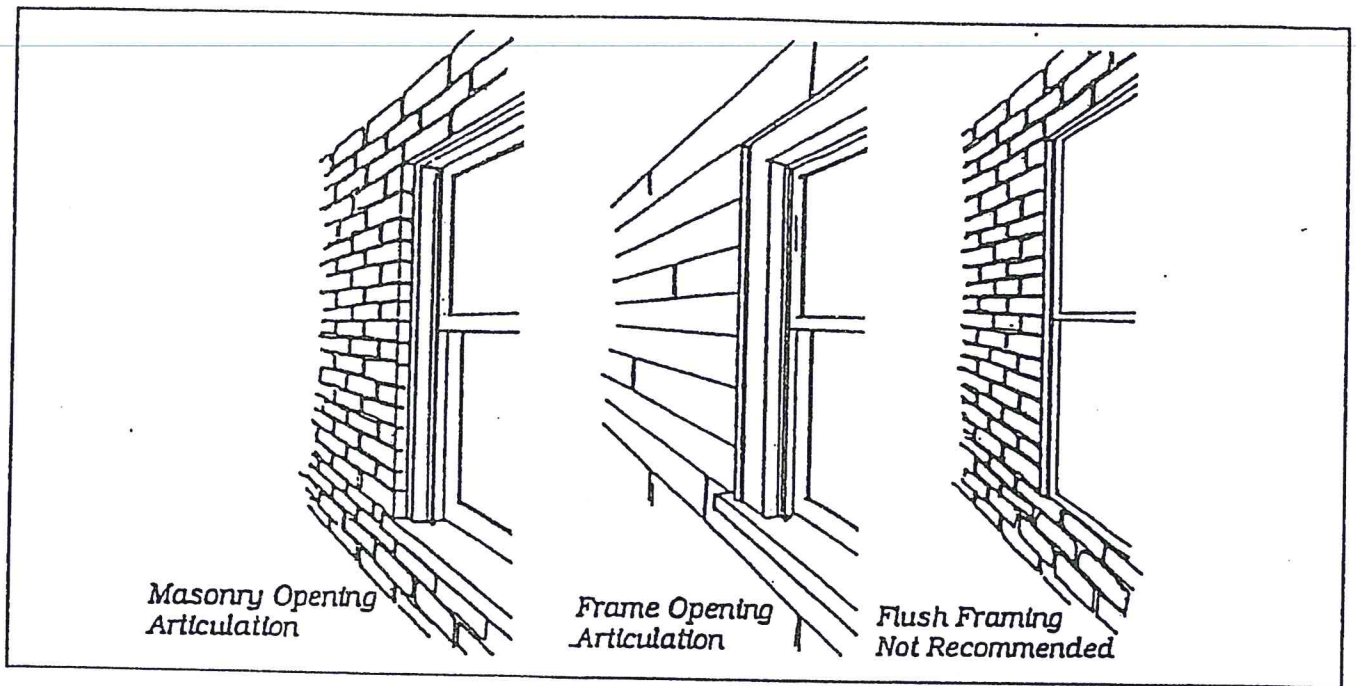
side porches only when necessary and when visual openness and character of the original porch is maintained.

- C. **GUIDELINE:** Add balustrades where none existed originally only when necessary for safety, and use wood in a design compatible with the house.
- D. **GUIDELINE:** Do not replace porch steps with materials other than the originals

31. WINDOWS



- A. **GUIDELINE:** Preserve and maintain original window sash design and lights (glass panes).

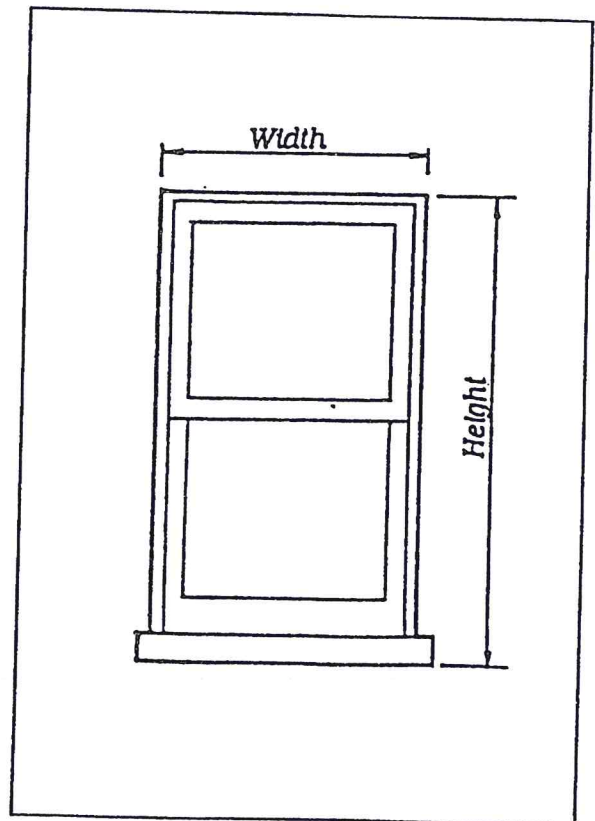


B. **GUIDELINES:** Replace windows and doors only when they are missing or beyond repair. Reconstruction should be based on physical evidence or old photographs. Do not use replacement windows that substantially change the size, glazing pattern, finish, depth of reveal, appearance of the frame, or muntin configuration.

C. **GUIDELINE:** Do not change the number or location of windows by cutting new openings or blocking in original openings.

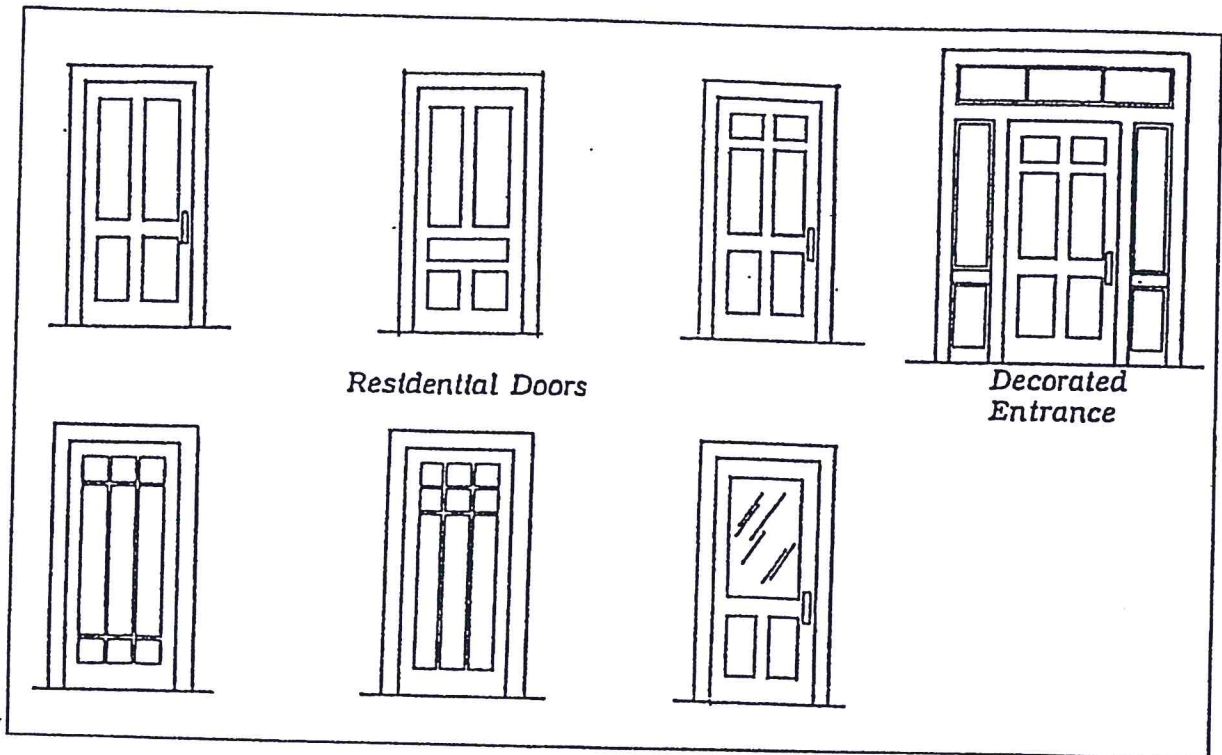
D. **GUIDELINE:** Storm windows should fit the original openings and can be full view or match the windows meeting rail location. If aluminum-frame storm windows must be used, apply a zinc-chromate primer and paint them to match the other trim.

E. **GUIDELINES:** Wood, vinyl clad wood, aluminum clad wood, or solid vinyl windows may be approved if the window matches the existing window and corresponds with Guideline 31B.



32. DOORS

- A. GUIDELINES: Original doors and surrounds must be preserved and maintained.



- B. GUIDELINE: Do not change the number or location of existing doors. If a new door must be added make the addition on the rear side elevations only.
- C. GUIDELINE: Storm and security doors must be full view design and should fit the original openings. If aluminum storm doors must be used, apply a zinc-chromate primer and paint to match the other trim.

33. DECORATION

- A. GUIDELINE: Preserve (maintain or restore; do not remove, cover, or alter) architectural decoration such as brackets, dentils, gingerbread, fish-scale shingles, window hoods and lintels, columns, and trim work or molding.
- B. GUIDELINE: Replace missing features based on accurate duplication or close visual approximations of the original.
- C. GUIDELINE: Do not introduce or substitute any features of any style not original to the building.

34. COLOR

A properly painted building accentuates and protects its character-defining details. Painting is one of the least expensive ways to maintain historic wooden fabric and make a building an attractive addition to an historic district. Many

times, however, buildings are painted inappropriate colors or color are placed incorrectly, The Rogersville Historic Preservation Commission reviews painting projects because of the importance of proper painting for building maintenance. It does not regulate color.

- A. GUIDELINE: Do not paint unpainted masonry surfaces (for exceptions, see guidelines for walls and foundations).

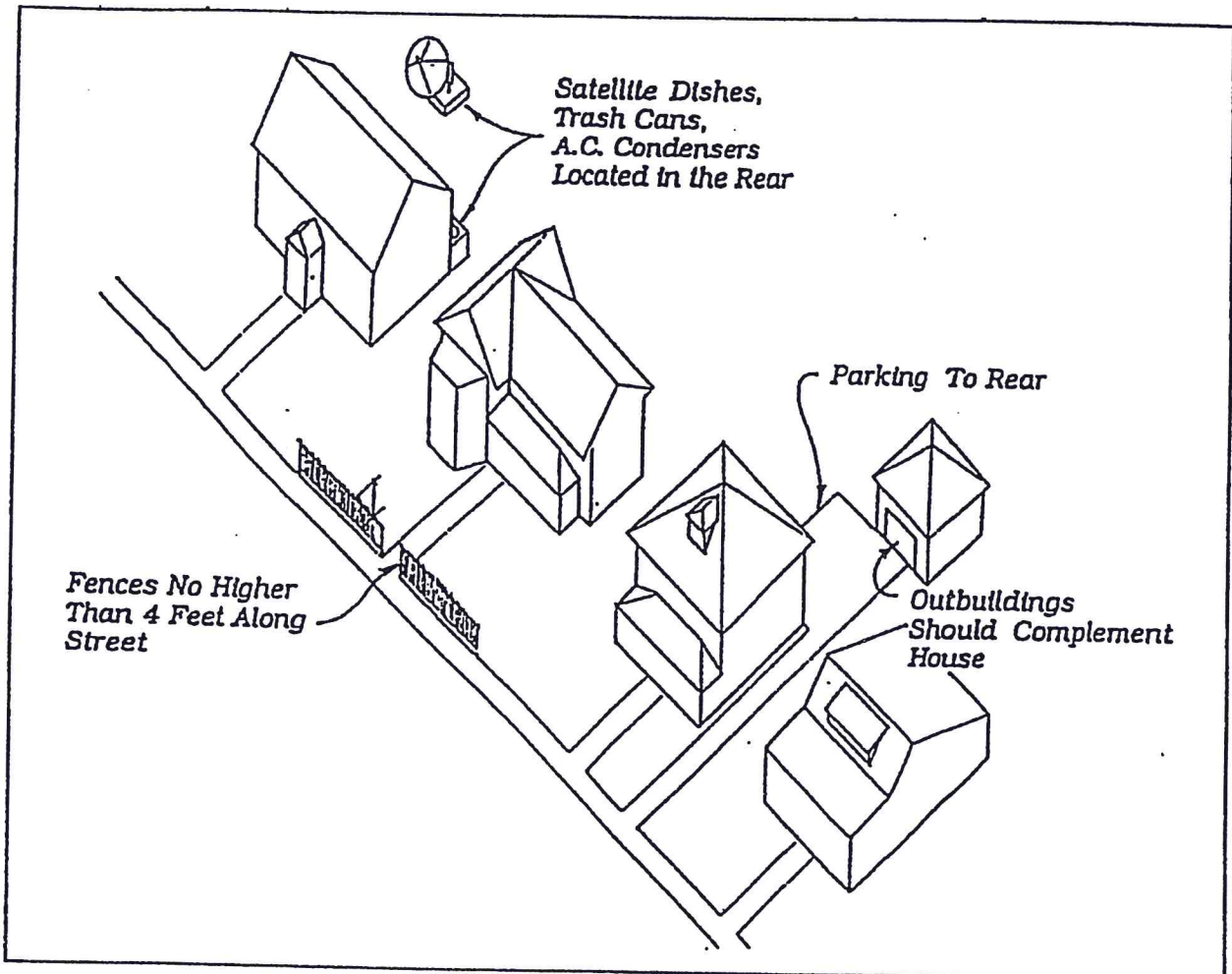
RECOMMENDATIONS FOR PAINTING NON-MASONRY SURFACES OR PREVIOUSLY PAINTED MASONRY SURFACES

- B. GUIDELINE: Keep color scheme simple, using no more than 4 colors.
- C. GUIDELINE: Use colors of or complimentary to the dominant neutral building colors of the structure or others in the area (such as dark red or red-brown of brick, taupe or gray tint of stone).
- D. GUIDELINE: Do not use loud, harsh or garish colors.
- E. GUIDELINE: Do not use sandblasting, open flames, or high-pressure water wash to remove paint from masonry, soft metal, or wood. Take precautions when removing older paint layers since they may contain lead.
- F. GUIDELINE: Prime surfaces if bare wood is exposed or if changing types of paint, such as from oil-base to latex. Do not apply latex paint directly over oil-based paint, as it will not bond properly.

35. LANDSCAPE FEATURES

GENERAL STANDARDS

Make landscape features (fences, walls, lighting, sidewalks, landscaping, signs, etc.) visually compatible with and traditional for the building and neighborhood.

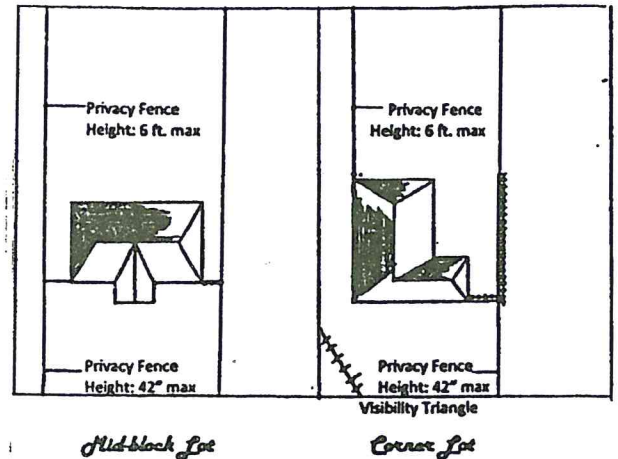


36. FENCES, WALLS

- A. **GUIDELINE:** Preserve original retaining walls and fences where they exist.
- B. **GUIDELINE:** Stained or painted wooden or vinyl picket fences may be added in the yard of any period building where appropriate to the style of the house. If the fences are used, fencing should stand no taller than forty-two (42) inches in front or five (5) feet in the rear with pickets spaced between 1-1/2 to 3-1/2 inches apart.
- C. **GUIDELINE:** All fencing shall be plumb and such that post and rails are in tiers.

- D. GUIDELINE: Where wood is used, use flat wooden board fencing to enclose side or rear yards not to exceed 6 feet in height and not to protrude beyond the front of the adjacent residence to the side or rear.

- E. GUIDELINE: Black, brown, or green vinyl clad chain link fencing of no more than four feet high, may be used in the rear yard only and screened with plantings. If necessary to attach to the building it must be screened.



- F. GUIDELINE: All fencing and screen shall not block the public right of way or safety views.

- G. GUIDELINE: New retaining walls may be added only as appropriate to the age of the structure/property and shall be in compliance with current building codes. Masonry retaining walls of stone (limestone), brick, or shaped block may be used. Retaining walls constructed of railroad timbers or plain concrete blocks shall not be used.

- H. GUIDELINE: Where appropriate to the age of the structure/property and the Neighborhood, wrought iron or powder-coated aluminum fences similar in appearance to wrought iron [no more than forty-two (42) inches high in the front yard and no more than five (5) feet in the side or back yard] may be used.

37. LIGHTING

- A. GUIDELINE: Preserve original light fixtures where they exist.
- B. GUIDELINE: If replacement is necessary, use fixtures appropriate to the period of the house, concealed or recessed fixtures, or plain black, wall or ceiling-mounted fixtures.
- C. GUIDELINE: Use concealed floodlights where needed.

38. LANDSCAPING

- A. GUIDELINE: Do not conceal or obscure the primary elevation of a historic building with landscaping.
- B. GUIDELINE: New retaining walls may be added only as appropriate to the age of the structure/property and shall be in compliance with current building codes. Masonry retaining walls of stone (limestone), brick, or shaped block may be used. Retaining walls of railroad timbers or plain concrete blocks shall not be use.
- C. GUIDELINE: Keep the locations of driveways and sidewalks as traditional for the neighborhood.
- D. GUIDELINE: Use brick, limestone, or concrete sidewalks where appropriate.
- E. GUIDELINE: Screen parking lots on vacant lots, maintain setback with adjacent buildings.

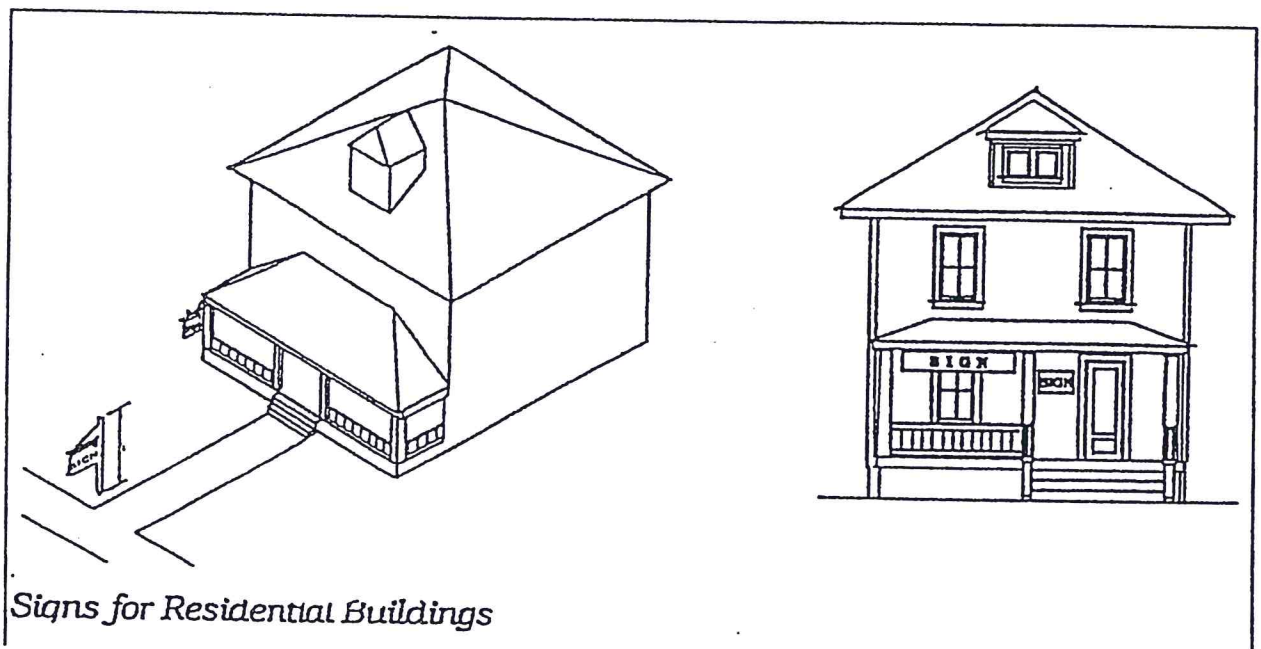
- F. GUIDELINE: Any tree over twelve (12) inches in diameter will need a "Certificate of Appropriateness" to be cut down.

39. OTHER

- A. GUIDELINE: When possible, position HVAC units at or near the rear of the building, and screen with vegetation if visible from the street.
- B. GUIDELINE: Position satellite dishes where not visible from a street.
- C. GUIDELINE: Position solar panels, if necessary, only on the rear elevation in rear yards with plant fence screening for camouflage and situated where not visible from a street, if possible.
- D. GUIDELINE: If a swimming pool is necessary, screen from the street view by appropriate fencing.

40. SIGNS

- A. GUIDELINE: Do not use signs, which flash or rotate in the Rogersville residential area.
- B. GUIDELINE: Use freestanding signs, where necessary, no more than 1 foot in height and 0.5 square feet for residential-use buildings and no higher than 5 feet and 1 square foot for commercial-use buildings
- C. GUIDELINE: Do not cover architectural features with a sign.
- D. GUIDELINE: Illuminate sign, if necessary by remote sources, not with visible bulbs or luminous paints.



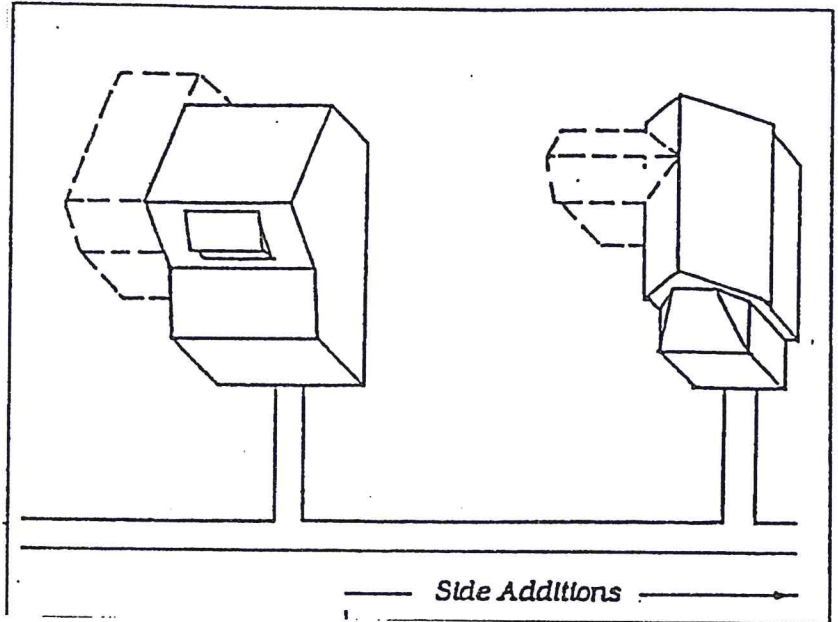
RESIDENTIAL NEW CONSTRUCTION

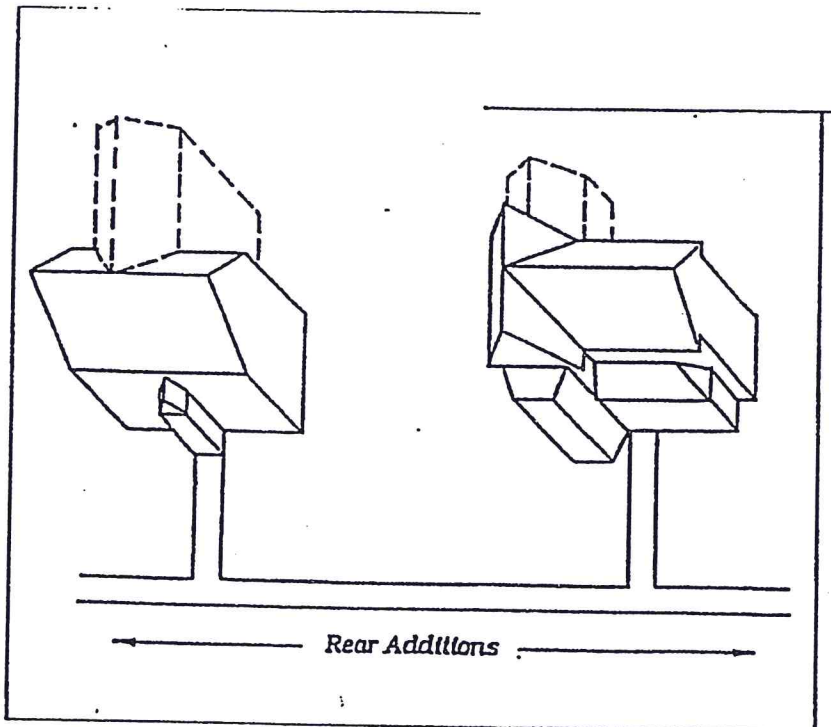
41. ADDITIONS

Appropriate additions are encouraged as a means of providing for current and future needs and providing for continued use of existing district buildings.

A. **GUIDELINE:** Additions should respond architecturally to adjacent buildings in general and to the building they are a part of in particular. They should blend in by using similar materials, shape, and rhythm and proportion of openings.

B. **GUIDELINE:** If the original building is architecturally significant, the addition should take a respectful "back seat". The addition should not overpower the original. An addition may be taller than the original building if site consideration and design still allow the old building to remain dominant.





C. GUIDELINE:

If a rooftop addition is desirable, keep it as small and set back from the visible elevation of the building as possible.

D. GUIDELINE:

For necessary additional space, build a new structure:

- At the rear;
- With a lower roof than the original structure;
- Of a design that blends with the old structure (but does not imitate the old structure) in proportion and rhythm of opening, size, scale, and materials.
- Of brick construction, glass is less desirable on the rear.
- Built as so not to cause irreparable damage to or destroy the rear elevation and its details.

E. GUIDELINE: In general, additions should follow the new construction guidelines. They should appear compatible but in context with the original. They should be sympathetic in design.